

530 WEST 200 SOUTH SALT LAKE CITY, UTAH 84101

db URBAN COMMUNITIES

DESIGN REVIEW PACKAGE

TEAM MEMBERS

211 EAST BROADWAY, STE 218 SALT LAKE CITY, UT 84111

ARCHITECT
JASON R. SHEPARD DWELL DESIGN STUDIO, LLC 3655 BROOKSIDE PARKWAY, SUITE 150 ALPHARETTA, GA 30022 (770) 864-1035

3032 SOUTH 1030 WEST, SUITE 202 SALT LAKE CITY, UT 84119 (801) 949-6296

CIR ENGINEERING, LLC

ELECTRICAL
TO BE DETERMINED

MECHANICAL
TO BE DETERMINED

PLUMBING
TO BE DETERMINED

STRUCTURAL
PRECISION SYSTEMS ENGINEERING 9805 SOUTH 500 WEST SANDY, UT 84070 (801) 943-5555

LANDSCAPE/HARDSCAPE DESIGN LANDFORM DESIGN GROUP 511 WEST 200 SOUTH, SUITE 125 SALT LAKE CITY, UT 84101 (801) 521-2370

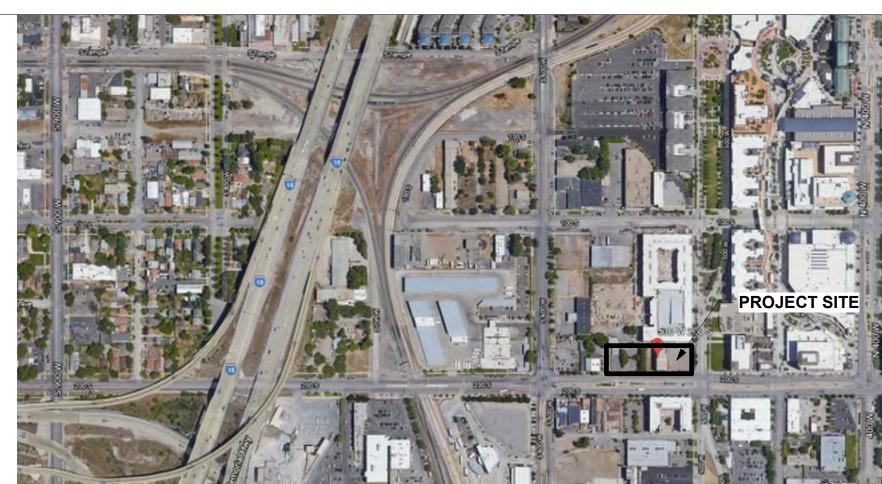
INTERIOR DESIGNER
TO BE DETERMINED

PROJECT INFORMATION

- 2018 INTERNATIONAL BUILDING CODE (IBC), INCLUDING APPENDIX J, ISSUED BY THE INTERNATIONAL CODE
- 2018 INTERNATIONAL PLUMBING CODE (IPC) 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2017 NATIONAL ELECTRICAL CODE (NEC), ISSUED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE

THE DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF DWELL DESIGN STUDIO, LLC. COPIES OF THE DRAWINGS MAY BE USED ONLY BY THE OWNER TO CONSTRUCT AND OCCUPY THIS PROJECT. NEITHER THE DRAWINGS NOR THE DESIGN INDICATED ON THE DRAWINGS MAY BE REPRODUCED NOR USED FOR ANY OTHER PROJECT OR PURPOSE. DWELL DESIGN STUDIO, LLC. ACCEPTS RESPONSIBILITY ONLY FOR THOSE DRAWINGS WHICH HAVE AN ORIGINAL SEAL, SIGNATURE, CONSTRUCTION ISSUE DATE, AND DATE OF FINAL REVISION FOR THE DRAWINGS

VICINITY MAP



PROJECT RENDERING





CINQ

db URBAN COMMUNITIES

2020 09-25 DESIGN REVIEW PACKAGE

DESIGN REVIEW PACKAGE

	SHEET INDEX	
Sheet Number	Sheet Name	
GENERAL CS-01	COVER SHEET)
CS-02 GN-01	SHEET INDEX GENERAL NOTES	2
GN-02 SP-00	SUBMITTAL LIST SITE DATA PLAN	
SP-01 SP-02	ARCHITECTURAL SITE PLAN ACCESSIBLE ROUTE SITE PLAN)
SP-03 SP-04	FIRE APPARATUS ACCESS PLAN PHASING PLAN	
SP-05 CODE DATA	ADDRESS PLAN	
CD-00 CD-01	ZONING & JURISDICTIONAL CODE DATA BUILDING CODE DATA)
CD-02 CD-03	BUILDING CODE DATA AVERAGE GRADE PLANE CALCULATION)
CD-04 CD-20	PARKING DECK OPENNESS CALCULATIONS LIFE SAFETY PLANS	
CD-60 CD-61	FAIR HOUSING GUIDELINES ADA ACCESSIBILITY GUIDELINES	
CD-70 CD-75	PARTITION DETAILS FLOOR / CEILING AND ROOF ASSEMBLY DETAILS	
CD-80 CD-81	UL ASSEMBLIES UL ASSEMBLIES	
ARCHITECTURA A0-00		
40-01 40-02	OVERALL BUILDING PLAN - LEVEL 1 OVERALL BUILDING PLAN - LEVEL 2	;
40-02 40-03 40-04	OVERALL BUILDING PLAN - LEVEL 2 OVERALL BUILDING PLAN - LEVEL 3 OVERALL BUILDING PLAN - LEVEL 4	3
40-04 40-05 40-06	OVERALL BUILDING PLAN - LEVEL 5 OVERALL BUILDING PLAN - LEVEL 6	;
40-06 40-07 40-08	OVERALL BUILDING PLAN - LEVEL 7 OVERALL BUILDING PLAN - ROOF LEVEL	;
A1-00B	PARTIAL BUILDING PLAN - BASEMENT LEVEL - BLDG 2000	
A1-00B.1 A1-00B.2	PARTIAL SLAB EDGE PLAN - BASEMENT LEVEL - BLDG 2000 PARTIAL BUILDING RCP - BASEMENT LEVEL - BLDG 2000	
A1-01A A1-01A.1	PARTIAL BUILDING PLAN - LEVEL 1 - BLDG 1000 PARTIAL SLAB EDGE PLAN - LEVEL 1 - BLDG 1000	
A1-01A.2 A1-01B	PARTIAL BUILDING RCP - LEVEL 1 - BLDG 1000 PARTIAL BUILDING PLAN - LEVEL 1 - BLDG 2000	
A1-01B.1 A1-01B.2	PARTIAL SLAB EDGE PLAN - BLDG 2000 PARTIAL BUILDING RCP - LEVEL 1 - BLDG 2000	
A1-02A A1-02A.1	PARTIAL BUILDING PLAN - LEVEL 2 - BLDG 1000 PARTIAL SLAB EDGE PLAN - LEVEL 2 - BLDG 1000	
A1-02A.2 A1-02B	PARTIAL BUILDING RCP - LEVEL 2 - BLDG 1000 PARTIAL BUILDING PLAN - LEVEL 2 - BLDG 2000	
A1-02B.1 A1-02B.2	PARTIAL SLAB EDGE PLAN - LEVEL 2 - BLDG 2000 PARTIAL BUILDING RCP - LEVEL 2 - BLDG 2000	
A1-03A A1-03A.1	PARTIAL BUILDING PLAN - LEVEL 3 - BLDG 1000 PARTIAL SLAB EDGE PLAN - LEVEL 3 - BLDG 1000	
A1-03A.2 A1-03B	PARTIAL BUILDING RCP - LEVEL 3 - BLDG 1000 PARTIAL BUILDING PLAN - LEVEL 3 - BLDG 2000	
A1-03B.1 A1-03B.2	PARTIAL SLAB EDGE PLAN - LEVEL 3 - BLDG 2000 PARTIAL BUILDING RCP - LEVEL 3 - BLDG 2000	
A1-04A A1-04A.2	PARTIAL BUILDING PLAN - LEVEL 4 - BLDG 1000 PARTIAL BUILDING RCP - LEVEL 4 - BLDG 1000	
A1-04B A1-04B.2	PARTIAL BUILDING PLAN - LEVEL 4 - BLDG 2000 PARTIAL BUILDING PCP - LEVEL 4 - BLDG 2000	
A1-05A A1-05A.2	PARTIAL BUILDING PLAN - LEVEL 5 - BLDG 1000 PARTIAL BUILDING RCP - LEVEL 5 - BLDG 1000	
A1-05B.2 A1-05B.2	PARTIAL BUILDING RCP - LEVEL 5 - BLDG 1000 PARTIAL BUILDING PLAN - LEVEL 5 - BLDG 2000 PARTIAL BUILDING RCP - LEVEL 5 - BLDG 2000	
41-05B.2 41-06A 41-06A.2	PARTIAL BUILDING RCP - LEVEL 5 - BLDG 2000 PARTIAL BUILDING PLAN - LEVEL 6 - BLDG 1000 PARTIAL BUILDING RCP - LEVEL 6 - BLDG 1000	
41-06B	PARTIAL BUILDING PLAN - LEVEL 6 - BLDG 2000	
A1-06B.2 A1-07A	PARTIAL BUILDING RCP - LEVEL 6 - BLDG 2000 PARTIAL BUILDING PLAN - LEVEL 7 - BLDG 1000 PARTIAL BUILDING RCP - LEVEL 7 - BLDG 1000	
A1-07A.2 A1-07B	PARTIAL BUILDING RCP - LEVEL 7 - BLDG 1000 PARTIAL BUILDING PLAN - LEVEL 7 - BLDG 2000	
A1-07B.2 A1-08A	PARTIAL BUILDING RCP - LEVEL 7 - BLDG 2000 PARTIAL BUILDING PLAN - ROOF LEVEL - BLDG 1000	
A1-08B A2-01	PARTIAL BUILDING PLAN - ROOF LEVEL - BLDG 2000 ENLARGED AMENITIES PLANS - LEVEL 1	
A2-02 A2-03	ENLARGED AMENITIES PLANS - LEVEL 2 ENLARGED AMENITIES PLANS - LEVEL 3	
A2-20 A2-21	ENLARGED STAIR PLANS, SECTIONS & DETAILS - BLDG 1000 ENLARGED STAIR PLANS, SECTIONS & DETAILS - BLDG 2000	
A2-40 A2-41	ENLARGED ELEVATOR PLANS, SECTIONS & DETAILS - BLDG 1000 ENLARGED ELEVATOR PLANS, SECTIONS & DETAILS - BLDG 2000	
A2-50 A2-51	ENLARGED TRASH ROOM PLANS, SECTIONS & DETAILS - BLDG 1000 ENLARGED TRASH ROOM PLANS, SECTIONS & DETAILS - BLDG 2000	
43-00 43-01	UNIT NOTES UNIT PLANS AND ELEVATIONS	
A3-02 A3-03	UNIT PLANS AND ELEVATIONS UNIT PLANS AND ELEVATIONS	
A3-04 A4-00	UNIT PLANS AND ELEVATIONS OVERALL BUILDING ELEVATIONS	2
A4-10 A4-11	PARTIAL BUILDING ELEVATIONS - BLDG 1000 PARTIAL BUILDING ELEVATIONS - BLDG 1000	
A4-12 A4-13	PARTIAL BUILDING ELEVATIONS - BLDG 2000 PARTIAL BUILDING ELEVATIONS - BLDG 2000	
44-13 45-00 45-01	OVERALL BUILDING SECTIONS OVERALL BUILDING SECTIONS OVERALL BUILDING SECTIONS	;
45-01 45-10 45-11	TYPICAL WALL SECTIONS TYPICAL WALL SECTIONS TYPICAL WALL SECTIONS	
A5-12	TYPICAL WALL SECTIONS	
45-20 45-21	ENLARGED ELEVATIONS AND SECTIONS - BLDG 1000 ENLARGED ELEVATIONS AND SECTIONS - BLDG 2000	
A5-22 A5-23	ENLARGED ELEVATIONS AND SECTIONS - BLDG 2000 ENLARGED ELEVATIONS AND SECTIONS - BLDG 2000	
A6-00 A6-01	INTERIOR FRAMING DETAILS INTERIOR FRAMING DETAILS	
A6-10 A6-11	EXTERIOR FRAMING DETAILS EXTERIOR FRAMING DETAILS	
46-30 46-40	FIRE WALL FRAMING DETAILS ROOFING AND CANOPY DETAILS	
A6-50	WATERPROOFING AND FLASHING DETAILS UNIT PLAN DETAILS	
A6-60		
46-60 47-00 47-01	WINDOW SCHEDULE WINDOW HEAD, JAMB AND SILL DETAILS	
A7-00		

360 WEST 300 SOUTH SUITE 102
SALT LAKE CITY, UT 84101
PHONE: 385.273.3888
dwelldesignstudio.com

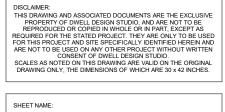
CINQ530 WEST 200 SOUTH
SALT LAKE CITY, UTAH 84101

db URBAN COMMUNITIES

ISSUE	DESCRIPTION	INCLUDED
2020 09-25 [DESIGN REVIEW PACKAGE	X
		l l
REVISIO	DN DESCRIPTION	REV

0541

CLAIMER: S DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLU



SHEET INDEX

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY CHECKED BY
Author MO

CS-02

05:37 PM C:\Users\ehaslam\Documen

BUILDING CONTROL-

GRID BUBBLE UNIT CENTERLINE

ACCESSIBILITY

BUBBLE

SYMBOL

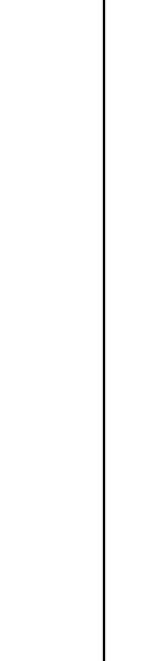
-SHEET NUMBER

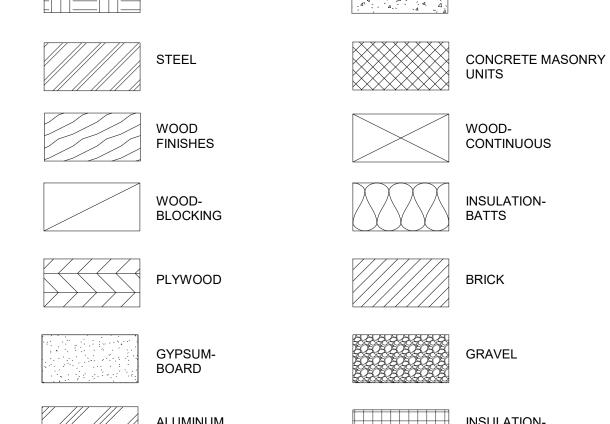
UNIT NUMBER-

UNIT TYPE

UNIT TAG

GRAPHIC REPRESENTATION





(ELEVATION)

RIGID

- THE OWNER SHALL OBTAIN AND PAY FOR THE GENERAL BUILDING PERMITS AND IMPACT FEES. THESE PERMITS SHALL BE PROVIDED TO THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- ORDERING AND INSTALLATION FOR ANY EQUIPMENT.

THE OWNER SHALL COORDINATE AND SECURE AN AGREEMENT FOR ACCESS TO SITE CONSTRUCTION, STAGING AREA, AND STORAGE

THE OWNER SHALL APPROVE ALL MATERIAL FINISH AND COLOR SELECTIONS, VIA CONTRACTOR SUBMITTED SHOP DRAWINGS, PRIOR TO

CONTRACTOR

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER, IN WRITING, AND SHALL HAVE RESOLVED AND DOCUMENTED, IN WRITING, PRIOR TO CONTINUING WITH THE WORK IN QUESTION IF THERE ARE:

- A. ANY ERRORS, OMISSIONS, DISCREPANCIES, CONFLICTS, OR INCONSISTENCIES ON THESE CONTRACT DOCUMENTS.
- ANY VARIATION OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR
- DISCREPANCIES AND/OR UNCERTAINTIES AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED.
- THE CONTRACTOR SHALL NOT RELY SOLELY ON THE ELECTRONIC VERSIONS OF THE PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. BUT SHALL VERIFY THE LOCATION OF PROJECT FEATURE DIMENSIONS IN ACCORDANCE WITH THE HARD COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
 - COORDINATION OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION OF EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF WORK TO BE COMPLETED.
- INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL:
- OBTAIN AND PAY FOR ALL OTHER PERMITS, CERTIFICATIONS AND APPROVALS REQUIRED IN CONNECTION WITH ALL WORK UNDER CONTRACT DOCUMENTS THAT ARE NOT PROVIDED BY THE OWNER.
- SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS. VERIFY ALL SITE DIMENSIONS ON CIVIL DRAWINGS, EXISTING CONSTRUCTION GRADES AND UTILITIES ON PROJECT AT PROJECT SITE PRIOR TO BEGINNING PROJECT.
- EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS AND SCOPE OF WORK IN THEIR ENTIRETY. ALL ITEMS
- INDICATED ON ANY DRAWING SHALL BE INCLUDED AS A COMPLETE SYSTEM, UNLESS NOTED OTHERWISE.
- INSURE THAT ALL AREAS ON THE ACCESSIBLE ROUTE THROUGHOUT THE SITE MEET THE REQUIREMENTS OF THE APPLICABLE ACCESSIBILITY CODES. COORDINATE BETWEEN CIVIL AND ARCHITECTURAL PLANS.

ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED.

- VERIFY ALL DIMENSIONS IN THE FIELD, AND COORDINATE WORK BETWEEN ALL TRADES.
- PAINT ALL SURFACES WHICH REQUIRE PROTECTION FROM THE ELEMENTS WITH THE APPROPRIATE PAINT, INCLUDING NECESSARY PRIMER COATS AND BACK PRIMING.
- SEAL WITH THE APPROPRIATE TYPE OF SEALANT, AND FLASH AT ALL LOCATIONS NECESSARY TO PREVENT PENETRATION OF MOISTURE AT TRANSITIONS OF DISSIMILAR MATERIALS TO INCLUDE, BUT ARE NOT LIMITED TO:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR:

- CONTINUOUS 25 MIL MEMBRANE FLASHING TO ALL INSIDE AND OUTSIDE WALL CORNERS.
- FLASHING SHALL BE INSTALLED AROUND ALL WINDOW OPENINGS, ROOF OPENINGS, AND AT THE INTERSECTION OF CHIMNEYS, WOOD CONSTRUCTION, AND FRAME WALLS. SEAL AND MAKE WEATHER-TIGHT.
- AIR IMPERMEABLE SEALANT:
 - CONTINUOUS AT ALL EXTERIOR JOINTS AROUND WINDOW FRAMES, DOOR FRAMES, BETWEEN WALL CAVITIES. BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALL AND PANELS, ALL PENETRATIONS AND UTILITIES THROUGH WALLS AND ROOFS, BETWEEN ALL DISSIMILAR MATERIALS, AND ALL OTHER OPENINGS IN BUILDING ENVELOPE.
- PLUMBING & WIRING PENETRATIONS IN ENVELOPE.
- SOLE PLATES AT EXTERIOR SLAB ON GRADE
- WEATHERSTRIP:
- CONTINUOUS AT ALL EXTERIOR DOORS & WINDOWS.
- CONTINUOUS AT ALL ATTIC ACCESSES IN CONDITIONED AREAS.
- CONTINUOUS AT INTERIOR DOOR OPENINGS INTO UNTREATED SPACE
- ALL EXTERIOR WORK SHALL BE INSTALLED IN WEATHER TIGHT MANNER AS REQUIRED.
- EMPLOY, AS REQUIRED BY GOVERNING AUTHORITIES, AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FOR CONCRETE, SOIL COMPACTION AND WELDING TO INSURE COMPLIANCE WITH PLANS, STANDARDS AND CODES. REFER TO CONCRETE SPECIFICATION FOR FREQUENCY OF TESTING REQUIRED. THESE COSTS SHALL BE INCLUDED IN THE CONTRACT.
- FIELD VERIFY ALL ROUGH OPENINGS.
- FULLY GUARANTEE THE WORK AND EQUIPMENT FOR ONE (1) YEAR FROM THE DATE OF FINAL PAYMENT AND ACCEPTANCE FROM ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS.
- REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR AS DIRECTED. ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO THE OWNER.
- INSPECT, REPAIR AND PREPARE FLOORS AS REQUIRED TO PROVIDE A SATISFACTORY SUB-FLOOR FOR FLOOR FINISH MATERIALS. SATISFACTORY SUB-FLOOR IS DEFINED AS A SURFACE THAT IS FREE FROM CRACKS, HOLES, RIDGES, COATINGS, OR DEFECTS
- THAT WOULD PREVENT ADHESIVE BOND OR IMPAIR PERFORMANCE OR APPEARANCE OF FINISHED MATERIALS.
- UPON COMPLETION OF THE WORK, REMOVE ALL TOOLS, EQUIPMENT, TEMPORARY PROTECTION, AND EXCESS MATERIALS FROM THE SITE. CLEAN / POLISH ALL HARDWARE AND FIXTURES. CLEAN / REMOVE ALL PAINT DRIPS / SPLATTERS AND STAINS. REMOVE ALL APPLIANCE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN, FREE OF STAINS, FILM AND FOREIGN SUBSTANCES.
- BRING TO THE ATTENTION OF THE OWNER ANY MATERIAL SUSPECTED OF BEING HAZARDOUS WHILE ENCOUNTERED DURING EXECUTION OF THE WORK. A DETERMINATION WILL BE MADE BY THE OWNER AS TO WHETHER THE CONTRACTOR SHALL PERFORM TESTS TO DETERMINE IF THE MATERIAL IS HAZARDOUS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL:
- ALL NECESSARY FLASHING INCLUDING (BUT NOT LIMITED TO) THROUGH FLASHING, STEP FLASHING, COUNTER FLASHING, CAP FLASHING, BASE FLASHING, AND FLEXIBLE FLASHING, WHERE NECESSARY, TO ENSURE A WATER TIGHT BUILDING.
- CONTINUOUS METAL CORNER BEADS AT ALL GYPSUM BOARD EXTERIOR CORNERS FROM FLOOR TO CEILING.
- CONTINUOUS METAL 'L' BEADS AT ALL EXPOSED GYPSUM BOARD EDGES FROM FLOOR TO CEILING.
- ALL LOCKING DEVICES, SECURITY DEVICES, AND GLASS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS
- AN INSULATION AND VAPOR BARRIER THAT IS CONTINUOUS AT WALLS, CEILINGS, AND FLOOR SURFACES AT ALL OCCUPIED SPACES EXPOSED TO NON-TEMPERED AREAS.
- THE CONTRACTOR SHALL PROTECT:
- MATERIALS WHICH ARE SENSITIVE TO DETERIORATION.
- THE REQUIRED PROTECTION OVER SHEAR WALLS AT ALL RATED WALLS AS APPROVED BY THE BUILDING OFFICIAL
- ALL EXISTING TREES, AS NOTED TO REMAIN ON CIVIL PLANS, SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION BY BOXING OR OTHER OWNER APPROVED MEANS.
- ALL EXISTING WORK, UTILITIES, CONDUIT, PIPING, EQUIPMENT, AND/OR ADJACENT AREAS NOT SHOWN TO BE ALTERED OR REMOVED FROM DAMAGE DURING EXECUTION OF THE WORK. THE CONTRACTOR SHALL BEAR THE TOTAL EXPENSE FOR, AND SHALL REPAIR TO EXISTING CONDITIONS, DAMAGE TO EXISTING CONSTRUCTION, EQUIPMENT, OR IMPROVEMENTS NOT INDICATED IN THE DRAWINGS SPECIFICATIONS TO RECEIVE ALTERATIONS, ADDITIONS, OR REMOVAL.

EXISTING SURFACE STREET AND SURFACE PARKING AREAS IN A CLEAN CONDITION AND PROVIDE ADEQUATE MEANS TO CLEAN

- TRUCKS AND OTHER EQUIPMENT.
- THE CONTRACTOR SHALL PROVIDE FULL SCALE. WOOD FRAMED MOCK-UP WITH ACCURATE DETAILS OF CONSTRUCTION. THE APPROXIMATE SIZE SHALL BE: 20' LONG X 10' HIGH.
- MOCK UP SHALL INCLUDE: 1 DOOR, 2 WINDOWS, CEMENTITIOUS PANEL, BRICK, METAL PANEL, METAL RAILING, ROOF MATERIAL.
- THE LOCATION OF THE MOCK-UP ON THE SITE TO BE APPROVED BY OWNER AND CONTRACTOR.

- THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, ARCHITECT, AND/OR ENGINEER QUANTITIES INDICATED ON THE PLANS ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF DISCREPANCY, THE PLAN TAKES PRECEDENCE OVER THE QUANTITY INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY OTHER RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS
- "TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- ALL MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR
- ROOFING SHALL BE CLASS B OR BETTER, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- INSULATE ALL EXTERIOR WALLS & CONDITIONED SPACES W/ KRAFT FACED FIBERGLASS, UNLESS NOTED OTHERWISE, INSULATION. FRICTION FIT IS NOT ACCEPTABLE TO MEET REQUIRED ENERGY EFFICIENCY STANDARD.
- FIELD MODIFICATION TO WORK IN PLACE MUST COMPLY WITH THE CUTTING AND PATCHING REQUIREMENTS.
- GYPSUM WALL BOARD SHALL BE: INSTALLED IN CONFORMANCE WITH THE GYPSUM ASSOCIATION'S RECOMMENDED PRACTICES FOR THICKNESS, NAILING, TAPING,
- 5/8" TYPE "X" MADE IN USA. WITH MATERIAL SOURCED IN THE U.S.A. WATER-RESISTANT GYPSUM BOARD AT KITCHEN/TOILET BACKSPLASHES, AND LAUNDRY WET WALLS.
- FILL ALL CONTROL JOINTS WITH TRAFFIC SEALANT AND EXPANSION JOINTS WITH EXPANSION JOINT SYSTEM IN PARKING DECK
- SIZE AND LOCATION OF ALL FLOOR OPENINGS TO BE VERIFIED WITH TRADE AFFECTED BEFORE WORK. PATCH AND SEAL ALL PENETRATIONS IN FLOOR TO COMPLY WITH APPLICABLE BUILDING AND/ OR FIRE CODES.
- MAXIMUM FLAME SPREAD RATING ON ALL INTERIOR FINISH MATERIALS SHALL NOT BE GREATER THAN THE REQUIREMENTS SPECIFIED IN IBC & NFPA 101.

STRUCTURAL / FRAMING

- DIMENSIONS:
 - A. ALL DIMENSIONS ON PLANS ARE TO FACE OF STRUCTURE/STUD UNLESS OTHERWISE NOTED.
 - ALL ANGLED WALLS ARE 45 DEGREES UNLESS NOTED OTHERWISE. DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR OF ROOM, FROM ADJACENT WALL
 - CORNER, TYPICAL IF CLEARANCE ALLOWS.
 - STRUCTURAL AND FIRE RESISTIVE INTEGRITY IS TO BE MAINTAINED AT ALL PENETRATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING CODES AND AUTHORITIES.
 - SEE STRUCTURAL DRAWINGS FOR SHEAR WALL & NAILING PATTERN TABLE FOR GYPSUM WALL BOARD.
 - WIND BRACE WALLS PER STRUCTURAL DRAWINGS AND PER BUILDING-CODE.
 - FLOOR TOLERANCE: IN LAYING OUT AND DETAILING THE WORK TO BE COMPLETED CONSIDERATION SHALL BE GIVEN TO VARIATIONS IN THE FLOOR LEVEL RESULTING FROM CONSTRUCTION QUALITY AND LIVE AND DEAD LOADS IMPOSED ON THE STRUCTURE. FIELD VERIFICATION SHALL BE MADE OF CONDITIONS TO VERIFY CONSTRUCTION TOLERANCES.
 - ALIGNMENT OF DOOR HEADS AND OTHER HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL AND SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANE
 - ALL WOOD SILLS IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND HAVE A CONTINUOUS SILL SEALER. PROVIDE TERMITE SHIELDS AT CONCEALED UNDER FLOOR SPACES.
 - ALL CHIMNEYS SHALL TERMINATE 2'-0" MINIMUM HEIGHT ABOVE A POINT MEASURED 10'-0 HORIZONTALLY FROM THE NEAREST BUILDING OR
 - LUMBER / WALLS:
 - A. COORDINATE LOCATION, CONSTRUCTION AND DETAIL OF LOAD BEARING WALLS BEFORE WORK
 - B. ALL LUMBER SHALL BE GRADE MARKED.
 - O.S.B. IS AN ACCEPTABLE SUBSTITUTE FOR PLYWOOD EXCEPT WHERE SPECIFIED BY STRUCTURAL ENGINEER.
 - STUD WALLS ARE DIMENSIONED 3-1/2", 5-1/2", OR 7-1/4", UNLESS NOTED OTHERWISE.
 - PARTY WALLS ARE DIMENSIONED 8" (3-1/2" + 1" + 3-1/2") PLUMBING WALLS SHALL BE FRAMED WITH 2X6 OR 2X8 STUDS, UNLESS NOTED OTHERWISE
 - REFER TO UNIT PLANS FOR LOCATION OF 2X6 WALLS.

 - REFER TO STRUCTURAL DRAWINGS FOR UNUSUAL OR SPECIAL FRAMING CONDITIONS WATER RESISTANT 1/2" CERAMIC TILE BACK BOARD SHALL BE INSTALL IN BOTH TUB AND SHOWER SURROUNDS, UNLESS NOTED
 - ALL PENETRATIONS IN GYPSUM DRYWALL CONSTRUCTION SHALL BE SEALED WITH JOINT COMPOUND OR APPROVED ACOUSTICAL
 - SEALANT TO PREVENT SOUND LEAKAGE.
 - ALL CAVITY OR CONCEALED SPACES SHALL BE DRAFT STOPPED & FIRE BLOCKED. PROVIDE BLOCKING FOR ALL CABINETS, CEILING FANS, AND BATH ACCESSORIES. INCLUDE BLOCKING FOR GRAB BARS AT ALL LOCATIONS.
 - PATIOS AND BALCONIES SHALL BE SLOPED MIN. 1/4" PER 1'-0"" IN DIRECTION INDICATED OR TO OUTERMOST EDGE OF BUILDING
 - ALL EXPOSED MATERIALS FOR BALCONIES, PATIOS, SOFFITS, OVERHANGS ETC. SHALL BE APPROVED EXTERIOR GRADE. BALCONY AND PATIO SUPPORTS VARY ACCORDING TO THE EXTERIOR ELEVATIONS. SEE ELEVATIONS FOR LOCATION OF BRICK PIER,
 - STONE PIER, POLY COLUMN OR RAILINGS AT BALCONIES.
 - PROVIDE GALVANIZED METAL ANCHOR FOR WOOD POSTS BEARING DOWN ON CONCRETE SLABS, UNLESS NOTED OTHERWISE. ALL CONCRETE WORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" AND THAT DESIGN IS BASED ON ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 318.1. "CONCRETE TEST REPORTS" WILL BE
 - AVAILABLE ON JOB SITE IN CONSTRUCTION TRAILER.
 - ALL FRAMING TO BE IN CONFORMANCE WITH THE NATIONAL FOREST PRODUCTS "MANUAL FOR HOUSE FRAMING." FIREBLOCKING SHALL BE PROVIDED TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORIES AND BETWEEN A STORY AND ROOF SPACE WHERE FIREBLOCKS ARE WOOD, THEY SHALL NOT BE LESS THAN A NOMINAL TWO INCHES IN THICKNESS. FIRESTOPS SHALL BE LOCATED

IN EXTERIOR AND INTERIOR WALLS, PARTITIONS AT CEILING AND FLOOR LEVELS. MECHANICAL, ELECTRICAL, AND PLUMBING

- ALL PLUMBING CHASES ARE TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE, UNLESS NOTED OTHERWISE
- WHERE ELECTRICAL, MECHANICAL, AND/OR OTHER WALL MOUNTED DEVICES OCCUR AT THE SAME LOCATION BUT DIFFERENT HEIGHTS, THEY SHALL BE CENTERED ABOVE EACH OTHER.
- WATER SERVICE SHALL NOT BE PLACED IN CONCEALED SPACES OUTSIDE OF THE CONDITIONED BUILDING ENVELOPE (BREEZEWAY OR PATIO FLOOR SPACES OR ATTICS).
- PROVIDE SUPPORT/REINFORCEMENT TO ACCOMMODATE WALL MOUNTED EQUIPMENT INCLUDING SUPPORT OF FUTURE GRAB BARS IN ALL BATHROOMS AS REQUIRED BY ADA AND/OR FAIR HOUSING ACT.
- COORDINATE LOCATION AND/OR ELEVATION OF FLOOR DRAINS, REGISTERS, GRILLES, LOUVERS CONVECTORS, PANELS, ETC. WITH MECHANICAL AND ELECTRICAL CONTRACTORS
- FIRE PROTECTION SYSTEM SHALL BE DESIGNED BY THE FIRE PROTECTION CONTRACTOR.

PENETRATIONS AND FIXTURES TO ALIGN VERTICALLY FROM FLOOR TO FLOOR.

- PROVIDE COMPLETE DESIGN AND SHOP DRAWINGS FOR FIRE SPRINKLER SYSTEM. PROVIDE FOR ALL STATE AND LOCAL SUBMITTALS AND/OR APPROVALS FOR QUICK RESPONSE SPRINKLER SYSTEM.
- C. ALL SPRINKLER PIPING SUBJECT TO FREEZING SHALL BE DRY-TYPE SYSTEMS WHERE PERMITTED.
- VENT DRYERS TO OUTSIDE. SEE MECHANICAL DRAWINGS.
- ALL OUTLETS @ KITCHEN SINK & BATH LAVATORY COUNTERS TO BE GFCI MECHANICAL DUCTWORK TO BE SEPARATED FROM ELECTRICAL PANELS.
- SMOKE DETECTORS SHALL NOT BE PLACED IN FRONT OF EXHAUST GRILLS.
- SMOKE DETECTORS SHALL BE CONTINUOUSLY BE POWERED BY BUILDING ELECTRICAL SYSTEM AND INSTALLED IN ACCORDANCE WITH NFPA AND IBC W/ BATTERY BACK UP.

- THE CONTRACTOR SHALL MEET:
- ALL REQUIREMENTS OF THE BUILDING CODE AND FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND REQUIREMENTS, EVEN IF IT REQUIRES LABOR AND/OR MATERIALS NOT INDICATED ON PLANS.
- ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
- ALL WORK PERFORMED UNDER, AND IN CONNECTION WITH THESE DRAWINGS SHALL BE IN STRICT COMPLIANCE WITH THE LATEST O.S.H.A SAFETY AND HEALTH STANDARDS.
- OPERATING FEATURES SHALL COMPLY WITH IBC AND NFPA WHILE BUILDING IS UNDER CONSTRUCTION.
- ALL INSTALLED SIGNAGE TO COMPLY WITH 2010 ADA SECTIONS 216 AND 703
- PROVIDE ACCESS PANELS AS MANDATED BY LOCAL GOVERNING AUTHORITIES.
- PROJECT SITE, BUILDINGS AND UNITS SHALL MEET OR EXCEED THE FAIR HOUSING ACCESSIBILITY GUIDELINES AS PUBLISHED IN THE FEDERAL REGISTER VOLUME 56, NUMBER 44, ON MARCH 6, 1991. THE FOLLOWING ARE ADDRESSED IN MEETING THE GUIDELINES:
- A. ACCESSIBLE ENTRANCES/ ACCESSIBLE ROUTES. PUBLIC AND COMMON AREAS MEETING ADA/ANSI AND ADA TITLE II REQUIREMENTS
- USABLE DOORS
- ACCESSIBLE ROUTE INTO AND THROUGH THE COVERED UNIT
- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTAT, AND ENVIRONMENTAL LOCATIONS
- GRAB BAR REINFORCEMENT LOCATIONS.
- USABLE BATHROOMS AND KITCHENS.
- ALL HANDICAPPED RAMPS SHALL BE BROOM FINISHED PERPENDICULAR TO SLOPE. SLOPE RAMPS AT 1:12 (MAX).
- NO FRAMING AT ANY TIME IS TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AUTHORITIES
- WHILE BUILDING IS UNDER CONSTRUCTION, OPERATING FEATURES SHALL COMPLY WITH IBC CHAPTER 33 & NFPA 241

- ALL SITEWORK AND LANDSCAPING SHALL BE ESTABLISHED AND DESIGNED BY OTHERS (THAN THE ARCHITECT).
- ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO OWNER.
- STORE MATERIALS IN SPACES DESIGNATED BY OWNER.
- REFER TO CIVIL DRAWINGS FOR DIMENSIONAL CONTROL PLAN AND GRADING, FIRE HYDRANT LOCATIONS, AND CURB CUTS.
- REFER TO LANDSCAPING DRAWINGS FOR LOCATION OF SIDEWALKS AND DETAILS REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR SITE DETAILS.
- REFER TO ELECTRICAL AND LANDSCAPING DRAWINGS FOR EXTERIOR BUILDING LIGHTING AND TRANSFORMER LOCATIONS.

A DEVELOPMENT FOR: db URBAN COMMUNITIES 2020 09-25 DESIGN REVIEW PACKAGE

360 WEST 300 SOUTH

SUITE 102

SALT LAKE CITY, UT 84101

PHONE: 385.273.3888

dwelldesignstudio.com

DESCRIPTION

SHEET NAME: **GENERAL** NOTES

JOB NUMBER: 2032701

Author

DESIGN REVIEW PACKAGE



360 WEST 300 SOUTH
SUITE 102
SALT LAKE CITY, UT 84101
PHONE: 385.273.3888
dwelldesignstudio.com

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY CHECKED BY

EH MO

SP-01

ZONING SUMMARY

ZONING DESCRIPTION:

PROPOSED PROJECT IS LOCATED AT 530 WEST 200 SOUTH, IN SALT LAKE CITY'S GATEWAY MIXED-USE DISTRICT. THE PROPERTY HAS TWO EXISTING STRUCTURES, THE CENTRAL WAREHOUSE AND AN EXISTING RETAIL BUILDING. IT IS PROPOSED TO DEMOLISH THE EXISTING RETAIL AND PORTIONS ON THE EXISTING WAREHOUSE (THE LAST THREE TO FOUR BAYS). THE NEW CONSTRUCTION WILL BE WRAPPED AROUND THE EXISTING WAREHOUSE WITH THE EXISTING PUBLIC WAY EASEMENT RELOCATED TO ADEQUATELY SEPARATION TWO 7-STORY STRUCTURES (SEE SITE PLAN).

THE RESIDENTIAL COMPONENT OF THE PROJECT WILL CONSIST OF 203 UNITS OVER TWO STORIES OF PARKING AND AMENITY SPACE. PROJECT WILL FACE BOTH 500 WEST AND 200 SOUTH STREETSCAPES WITH THE PROPOSED STRUCTURE PROVIDING PEDESTRIAN PRESENCE AND APPROPRIATE HUMAN SCALE.

ZONING TYPE:

G-MU (GATEWAY MIXED-USE)

LOT REQUIREMENTS (PER 21A.31.020): MINIMUM LOT AREA AND LOT WIDTH

NONE REQUIRED

SETBACK REQUIREMENTS (PER 21A.31.020):

NO MINIMUM SETBACK REQUIREMENTS. A MINIMUM OF TWENTY-FIVE PERCENT (25%) OF THE LENGTH OF THE FACADE OF A PRINCIPAL BUILDING SHALL BE SET BACK NO FARTHER THAN FIVE FEET (5') FROM THE STREET RIGHT-OF-WAY LINE.

HEIGHT REQUIREMENTS (PER 21A.31.020):

MINIMUM BUILDING HEIGHT THE MINIMUM BUILDING HEIGHT SHALL BE FORTY-FIVE FEET (45') AND THE 200 SOUTH STREET CORRIDOR SHALL HAVE A MINIMUM HEIGHT OF TWENTY-FIVE FEET (25').

MAXIMUM BUILDING HEIGHT

THE MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED SEVENTY-FIVE FEET (75') EXCEPT BUILDINGS WITH NONFLAT ROOFS MAY BE ALLOWED, UP TO A MAXIMUM OF NINETY FEET (90').

NOTE: SEE SHEET SP-01, ARCHITECTURAL SITE PLAN, FOR GRAPHICAL REPRESENTATION OF ZONING REQUIREMENTS.

BUILDING SUMMARY

BUILDING(S) DESCRIPTION:

PROPOSED PROJECT IS A FIVE STORY, MULTI-FAMILY RESIDENTIAL, OVER 2 STORY PARKING AND AMENITY. ACCESS TO PARKING GARAGE WILL BE FROM BOTH 500 WEST AND FROM ALLEY (PUBLIC WAY EASEMENT) ACCESS OFF OF 200 SOUTH.

THE RESIDENTIAL COMPONENT OF THE PROJECT WILL CONSIST OF 203 UNITS, WITH A MIX OF STUDIO, 1-BED, 2-BED AND 3-BED UNITS (SEE UNIT SUMMARY).

PARKING GARAGE STALL COUNTS:

PARKING COUNT BY LEVEL				PARKING COUNT BY TYPE		
SPACE TYPE	WIDTH	LENGTH	QUANTITY	Level	QUANTITY	
LEVEL 0				ADA		
STND	9' - 0"	18' - 0"	21	LEVEL 1	2	
			21	LEVEL 2	2	
LEVEL 1					4	
ADA	9' - 0"	18' - 0"	2	С		
STND	9' - 0"	18' - 0"	57	LEVEL 2.5	3	
VAN	9' - 0"	18' - 0"	1		3	
			60	STND		
LEVEL 2				LEVEL 0	21	
ADA	9' - 0"	18' - 0"	2	LEVEL 1	57	
STND	9' - 0"	18' - 0"	34	LEVEL 2	34	
			36	LEVEL 2.5	5	
LEVEL 2.5					117	
С	8' - 0"	16' - 0"	3	VAN		
STND	9' - 0"	18' - 0"	5	LEVEL 1	1	
			8		1	
			125		125	

CONSTRUCTION AND OCCUPANCY SUMMARY:

OCCUPANCY TYPE (PER 2018 IBC):

R-2 (RESIDENTIAL APÁRTMENTS) WITH A-3 SEPARATED OCCUPANCIES S-2 (PARKING GARAGE)

CONSTRUCTION TYPE (PER 2018 IBC):

BUILDINGS 1000 AND 2000 (LEVELS 1-2 AND BASEMENT)

BUILDINGS 3000 AND 4000 (LEVELS 3-7)

NOTE: SEE SHEET CD-01 AND CD-02 FOR BUILDING CODE DATA ON EACH PROPOSED BUILDING.

JNIT TYPE				BU	LDING 1	1000			П		BU	JILDING	2000			QUANTITY	UNIT TYPE	Al	REA NE	T (HEATED)		M	X PERCENTA	NGE
						bove De							Above D						1					
	UNIT DESCRIPTION	1	2	3	4	5	6	7	1	2	3	4	5	6	7		\perp	NET		NET TOTAL		GOAL		ACTU
TUDIO																								
1	1 BED/ 1 BATH			5	5	5	5	5								25	S1	449	SF	11,225	SF			12.3
2	1 BED/ 1 BATH			1	1	1	- 1	1								5	S2	455		2,275				2.5
3	1 8ED/ 1 BATH	\vdash							-		1					1	\$3	528	SF	528	SF	-		0.5
									Ш							31	S TOTAL			14,028	SF	27%	S TOTAL	15.3
		1							Ш							- 31	3101AL		AVG.	452	_	21.76	3 TOTAL	19.4
		1							Ш										GOAL	550				
SINGLE BED																								
1 - (Jr 1 Bed)	1 BED/ 1 BATH			2	2	2	2	2			1	1	1	1	1	15	A1 - (Jr 1 Bed)	563		8,445				7.4
2 - (Jr 1 Bed)	1 BED/ 1 BATH								_		8	8	8	8	8	40	A2 - (Jr 1 Bed)	583	_	23,320				19.7
13	1 BED/ 1 BATH			1	1	1	1	1			1					6	A3	683	_	4,098	_			3.0
4	1 BED/ 1 BATH			3	3	3	3	3	\vdash							15	A4	660	SF	9,900	SF			7.4
4A 5	1 BED/ 1 BATH 1 BED/ 1 BATH + DEN	-		1	2	2	1	1	\vdash							10	A4A A5	657 900	SF SF	6,570 4,500	_	\vdash		2.5
6	1 BED/ 1 BATH + DEN			-	,	,	-	1			1	1	1	1	1	5	A6	885	SF	4,500	_			2.5
17	1 BED/ 1 BATH										1	1	1	1	1	5	A7	842	_	4,210	_			2.5
.8	1 BED/ 1 BATH										1	1	1	1	1	5	A8	744		3,720				2.5
19	1 BED/ 1 BATH										2	2	2	2	2	10	A9	769	_	7,690				4.5
10	1 BED/ 1 BATH										1	1	-1	- 1	1	5	A10	860		4,300	SF			2.5
111	1 BED/ 1 BATH										1	2				3	A11	670	_	2,010	SF			1.5
112	1 BED/ 1 BATH								I —		2	2				4	A12	738		2.952				2.0
113	1 BED/ 1 BATH + DEN								I —			-1	1	1	1	4	A13	683		2,732	_			2.0
14	1 BED/ 1 BATH		_						! —				1	1	1	3	A14	847	SF	2,541	SF			1.5
OUBLE BED	2 BED/2 BATH			1	1	1	1	1								5	B1	1,028	_	5,140				2
2	2 BED/2 BATH			1	1	1	- 1	1	_							5	B2	1,073	_	5,365	_			2.5
33	2 BED/2 BATH 2 BED/2 BATH						_		\vdash		1	1	1	1	1	5	B3	1,051	SF	5,255				2.5
35	2 BED/2 BATH							-	\vdash		1	1	1	1	1	5	B4 B5	1,035	SF SF	5,175	_			2.5
	E DEDIE D'III	_						-			_	-	-	_		-	- 50	1,001	01	0,100	01			-
		1							II .							25	B TOTAL			26,370	SF	20%	B TOTAL	12.3
		1	- 1						11										AVG.	1,054				
		1							Ш										GOAL	1,088				
HREE BED	3 BED/2 BATH	-	\rightarrow						ΙЬ		1	1 1	1			5	C1	1,489	SF	7,445	SF			2.5
.1	3 DEDIZ BATH	-						_	\vdash		-		-			9	C1	1,409	or.	7,440	ar.	$\overline{}$		4.5
		1	- 1						H							5	C TOTAL			7,445	SF	0%	C TOTAL	2.5
		1	- 1						Ш										AVG.	1,489				
		1	- 1						Ш										GOAL	0				
									١Щ															
			-													1	W1	767	SF	767				0.5
V1	1 BED/1 BATH	1							-							3	W2	805		2,415				1.5
IVE/WORK	1 BED/1 BATH	3							11			_				2	W3*	1,050		2,100				0.5
V1 V2 V3*	1 BED/1 BATH 2 BED/1 BATH	3					_						1		_	1	* Two Story	1,492	or.	1,492	ar	\rightarrow		0.3
V1 V2 V3*	1 BED/1 BATH	3											_				I WO SKUTY							
V1	1 BED/1 BATH 2 BED/1 BATH	3														7				3 182	SF	0%	W TOTAL	3.
V1 V2 V3*	1 BED/1 BATH 2 BED/1 BATH	3														7	W TOTAL		AVG.	3,182 454	SF	0%	W TOTAL	3.4
V1 V2 V3*	1 BED/1 BATH 2 BED/1 BATH	3														7			AVG.	3,182 454 0		0%	W TOTAL	3.4
/1 /2 /3* /4* Two Story	1 BED/1 BATH 2 BED/1 BATH 2 BED/1 BATH	3 2 1											La	0.			W TOTAL			454 0				
V1 V2 V3* V4* Two Story	1 BED/1 BATH 2 BED/1 BATH 2 BED/1 BATH PER FLOOR	3	0	17	17	17	17	17	0		24	24	21	21	21	203				454		100%	W TOTAL	
V1 V2 V3* V4* Two Story	1 BED/1 BATH 2 BED/1 BATH 2 BED/1 BATH	3 2 1	0	17	17	17	17	17 92	0		24	24	21	21	21 111 GOAL		W TOTAL			454 0				100.0

UNIT SUMMARY

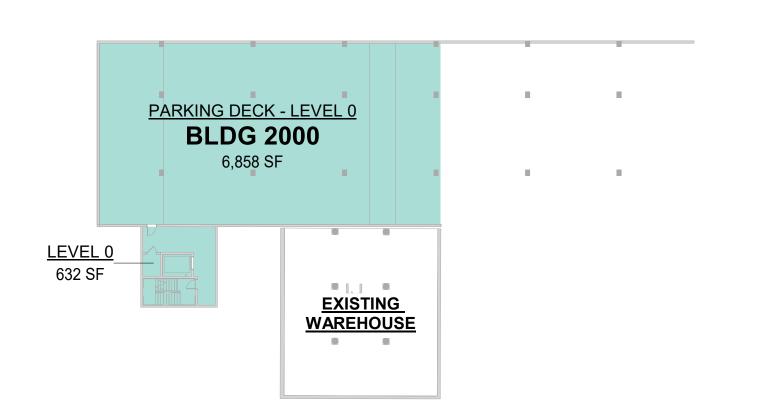
360 WEST 300 SOUTH SUITE 102 SALT LAKE CITY, UT 84101 PHONE: 385.273.3888 dwelldesignstudio.com

CINQ

ZONING & JURISDICTIONAL CODE DATA

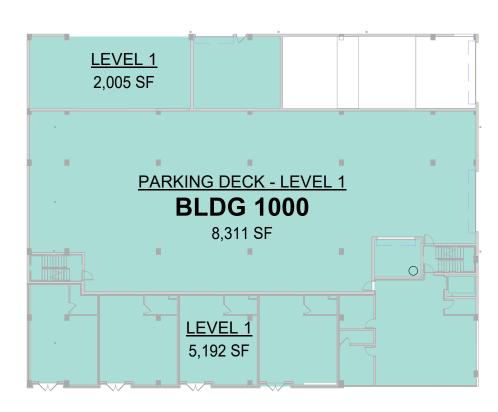
DESIGN REVIEW PACKAGE

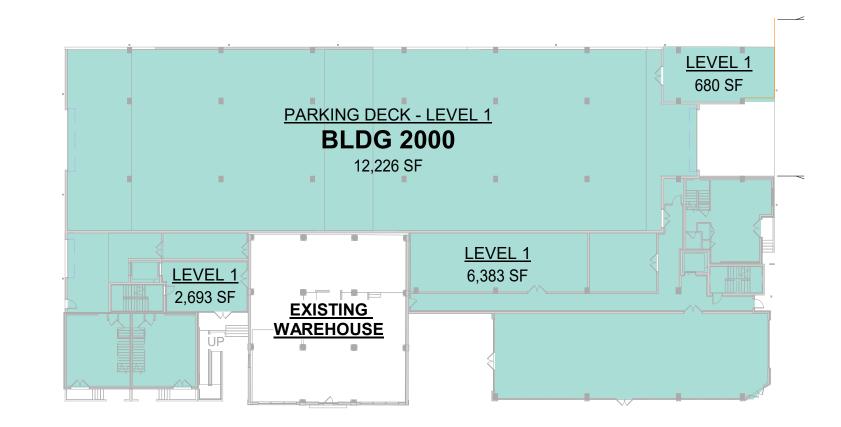
JOB NUMBER: 2032701



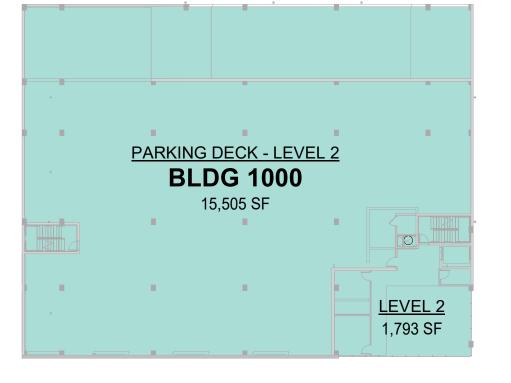
1 GROSS AREA PLAN - LEVEL 0

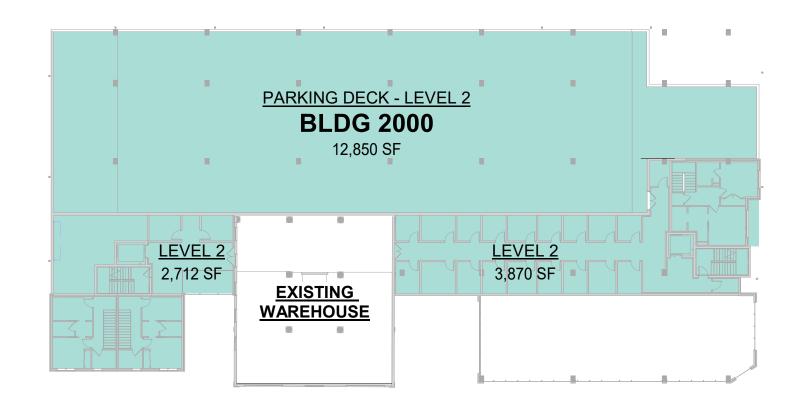
1/32" = 1'-0"





2 GROSS AREA PLAN - LEVEL 1
1/32" = 1'-0"





3 GROSS AREA PLAN - LEVEL 2
1/32" = 1'-0"

BUILDING IDENTIFICATION :	2000						
BUILDING OCCUPANCY CLASSIFICATION :	S-2						
AREA ALLOWED (PER 506.2.3):	UNLIM	IITED SQ.FT.					
SQ.FT. INCREASE ALLOWED BY AREA MODIFICATIONS (PER 506)							
AREA ALLOWED PER FLOOR (PER 506.2) :	UNLIM	IITED SQ.FT.					
AREA PROVIDED	SEE G	ROSS AREA TABLES BELOW					
TYPE OF CONSTRUCTION :	IA						
BUILDING HEIGHT ALLOWANCE (PER 504.3):	UNLIM						
BUILDING HEIGHT PROVIDED :	76' - 0"						
NUMBER OF STORIES ALLOWED (PER 504.4): NUMBER OF STORIES PROVIDED :	2						
NOWIDER OF STORIES PROVIDED.	2						
FIRE RATING :		WALLS AND PARTITIONS	OPEN	IING PROTECTION			
FIRE WALLS (PER 706.4):		3 HOUR	3 HOU	JR			
SHAFT ENCLOSURES GREATER THAN 4 STORIES (PER 713.4):		2 HOUR	1 1/2 I	HOUR			
MIXED OCCUPANCY SEPARATION (PER 508.4):		VARIES - SEE PLANS	-				
INTERIOR BEARING WALLS (PER 601):		1 HOUR	-				
INTERIOR NON-BEARING WALLS (PER 601):		0 HOUR	-				
EXT. BEARING WALLS (PER 601):		2 HOUR	3/4 HC	OUR			
EXT. BEARING WALLS: GREATER THAN 30' SEPARATION (PER 6	602):	1 HOUR	-				
EXT. BEARING WALLS: LESS THAN 30' SEPARATION (PER 602):		1 HOUR	3/4 HC				
CORRIDOR WALLS (PER 1020.1):		1/2 HOUR	1/3 HO				
ELEVATOR SHAFT WALLS (PER 713.4):	740.40)	2 HOUR		HOUR			
REFUSE ACCESS AND DOOMS (DEB 743.43):	713.13):	2 HOUR		HOUR			
REFUSE ACCESS AND ROOMS (PER 713.13): FLOOR / CEILING CONSTRUCTION (PER 601):		1 HOUR	3/4 HO	JUR			
ROOF CEILING CONSTRUCTION (PER 601):		1 HOUR	-				
PRIMARY STRUCTURAL FRAME (PER 601):		1 HOUR					
(11)							
STAIRS:							
STAIR WIDTH (PER 1009.1):	MIN. R	REQUIRED: 44"	MIN. P	ROVIDED 44"			
ELEVATOR LOBBIES							
REQUIRED (PER 708.14.1 EXCEPTION 4):	YES						
FLOOR LOCATIONS:		.S 0, 1 AND 2					
FIRE PROTECTION SYSTEM							
SPRINKLER SYSTEM PROVIDED (PER 903.3.1.1):	NFPA						
STANDPIPES REQUIRED (PER 905): FIRE EXTINGUISHERS (PER 906):		YES, WET SYSTEM AT STAIRWAYS PROVIDED 75' MAX TRAVEL DIST./COMMON CORRIDOR/RESIDENTIAL UNITS					
I INCLEMENTATION OF LINE STORY.	11100	INTO TO INFO TIMAVEL DIOT./C		1 JOHN THE CHAIN OF THE CHAINS			
EXITS REQUIRED							
BUILDING EXITS (PER 1006.3.2):	PER F	LOOR: PER FLOOR: 2 MINIMU	M WITHI	IN ALLOWED TRAVEL DISTANCE			
HORIZONTAL EXITS (PER 1026):	SEE P	LANS FOR LOCATION					
TRAVEL DISTANCE (PER 1017.2):	400 FE	EET ALLOWED					
DEAD END CORRIDOR (PER 1020.4 EXCEPTION 2):	50 FEE	ET ALLOWED ALLOWED		SEE PLANS FOR PROVIDED			
UNITS OF EGRESS (PER 1005.1):	CORR	IDOR WIDTH = .20 PER OCCU	PANT				
	STAIR	WIDTH = .30 PER OCCUPANT					
ROOF ACCESS							
ROOF ACCESS PROVIDED:	NOT A	PPLICABLE					
ROOF ACCESS PROVIDED:	NOT A	PPLICABLE					
	NOT A	PPLICABLE					
ROOF ACCESS PROVIDED:		PPLICABLE PPLICABLE					

TOTAL GROSS - BUILDING 2000					
BLDG NUMBER	AREA				
LEVEL 0					
2000	7,490 SF				
LEVEL 1					
2000	21,982 SF				
LEVEL 2					
2000	19,432 SF				
GRAND TOTAL	48,904 SF				

BUILDING IDENTIFICATION :	1000					
BUILDING OCCUPANCY CLASSIFICATION :	S-2					
AREA ALLOWED (PER 506.2.3):	UNLIM	IITED SQ.FT.				
SQ.FT. INCREASE ALLOWED BY AREA MODIFICATIONS (PER 506)						
AREA ALLOWED PER FLOOR (PER 506.2) :	UNLIM	IITED SQ.FT.				
AREA PROVIDED	SEE G	ROSS AREA TABLES BELOW				
TYPE OF CONSTRUCTION :	IA					
BUILDING HEIGHT ALLOWANCE (PER 504.3):	UNLIM	IITED				
BUILDING HEIGHT PROVIDED :	76' - 0"					
NUMBER OF STORIES ALLOWED (PER 504.4):	UNLIM	IITED				
NUMBER OF STORIES PROVIDED :	2					
FIRE RATING :		WALLS AND PARTITIONS	OPEN	IING PROTECTION		
FIRE WALLS (PER 706.4):		3 HOUR	3 HOL	JR		
SHAFT ENCLOSURES GREATER THAN 4 STORIES (PER 713.4):		2 HOUR	1 1/2 H	HOUR		
MIXED OCCUPANCY SEPARATION (PER 508.4):		VARIES - SEE PLANS	_			
INTERIOR BEARING WALLS (PER 601):		1 HOUR	-			
INTERIOR NON-BEARING WALLS (PER 601):		0 HOUR	-			
EXT. BEARING WALLS (PER 601):		2 HOUR	3/4 HC	DUR		
EXT. BEARING WALLS: GREATER THAN 30' SEPARATION (PER 60	02):	0 HOUR	-			
EXT. BEARING WALLS: LESS THAN 30' SEPARATION (PER 602):		1 HOUR	3/4 HC			
CORRIDOR WALLS (PER 1020.1):		1/2 HOUR	1/3 HC			
ELEVATOR SHAFT WALLS (PER 713.4):	740.40	2 HOUR	1 1/2 H			
REFUSE CHUTE SHAFT WALLS AND TERMINATION ROOM (PER 7	<i>(</i> 13.13):	2 HOUR	1 1/2 H			
REFUSE ACCESS AND ROOMS (PER 713.13):		1 HOUR	3/4 HC	4 HOUR		
FLOOR / CEILING CONSTRUCTION (PER 601): ROOF CEILING CONSTRUCTION (PER 601):		1 HOUR 1 HOUR	-			
PRIMARY STRUCTURAL FRAME (PER 601):		1 HOUR	-			
· · · · · · · · · · · · · · · · · · ·		<u> </u>				
STAIRS:						
STAIR WIDTH (PER 1009.1):	MIN. R	EQUIRED: 44"	MIN. P	ROVIDED 48"		
ELEVATOR LOBBIES						
REQUIRED (PER 708.14.1 EXCEPTION 4):	YES					
FLOOR LOCATIONS:	LEVEL	S 1 AND 2				
FIRE PROTECTION SYSTEM						
SPRINKLER SYSTEM PROVIDED (PER 903.3.1.1):	NFPA	NFPA 13				
STANDPIPES REQUIRED (PER 905):	YES, V	VET SYSTEM AT STAIRWAYS				
FIRE EXTINGUISHERS (PER 906):	PROVI	DED 75' MAX TRAVEL DIST./C	COMMON	I CORRIDOR/RESIDENTIAL UNITS		
EXITS REQUIRED						
BUILDING EXITS (PER 1006.3.2):			JM WITHI	N ALLOWED TRAVEL DISTANCE		
HORIZONTAL EXITS (PER 1026):		LANS FOR LOCATION				
TRAVEL DISTANCE (PER 1017.2):		ET ALLOWED		A - - - - - - - - -		
DEAD END CORRIDOR (PER 1020.4 EXCEPTION 2):		ET ALLOWED ALLOWED	ID 4 + !=	SEE PLANS FOR PROVIDED		
LINITO OF FORESC (RED. 1005 1)		IDOR WIDTH = .20 PER OCCU WIDTH = .30 PER OCCUPANT				
UNITS OF EGRESS (PER 1005.1):	SIAII					
	JIAIK					
ROOF ACCESS		PPI ICARI F				
		PPLICABLE				
ROOF ACCESS		PPLICABLE				
ROOF ACCESS ROOF ACCESS PROVIDED:	NOT A	PPLICABLE PPLICABLE				

BLDG NUMBER	AREA
	AREA
LEVEL 1	
1000	15,508 SF
LEVEL 2	
1000	17,298 SF
GRAND TOTAL	32,805 SF

360 WEST 300 SOUTH SUITE 102 SALT LAKE CITY, UT 84101 PHONE: 385.273.3888 dwelldesignstudio.com

CINQ

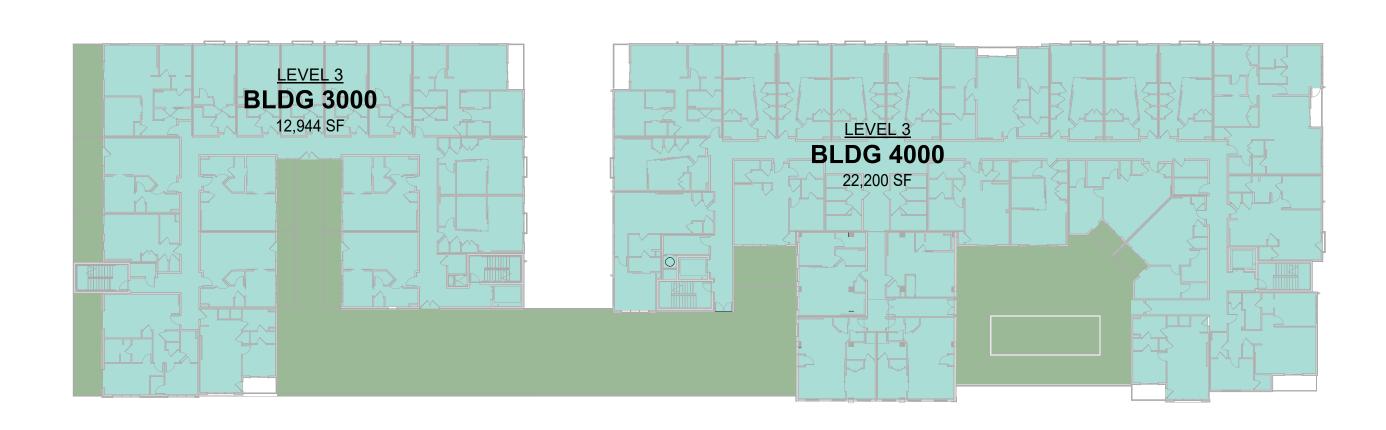
A DEVELOPMENT FOR: db URBAN COMMUNITIES

ISSUE DESCRIPTION 2020 09-25 DESIGN REVIEW PACKAGE REVISION

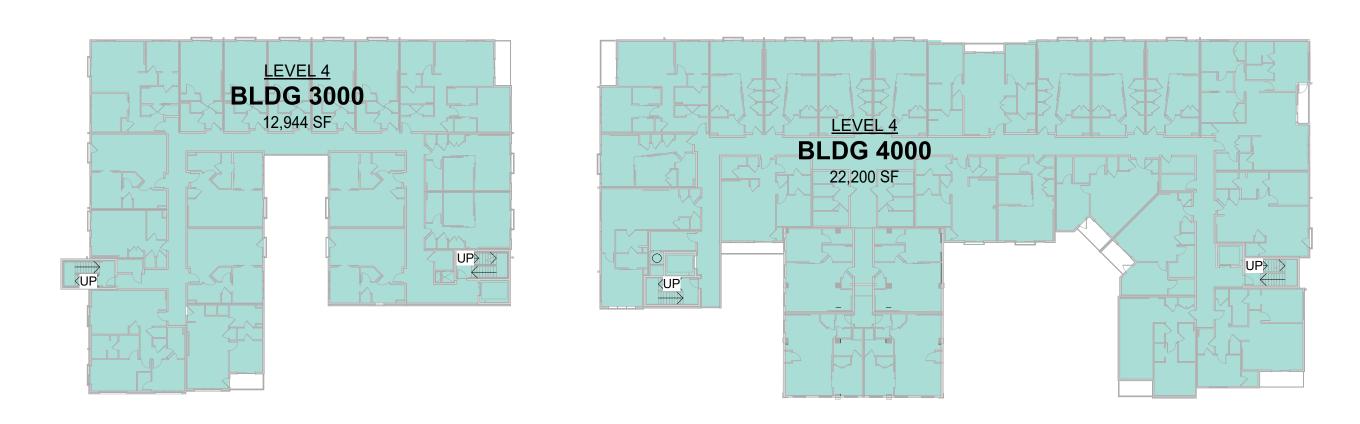
BUILDING CODE DATA

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701



1 GROSS AREA PLAN - LEVEL 3
1/32" = 1'-0"



2 GROSS AREA PLAN - LEVEL 4
1/32" = 1'-0"



3 GROSS AREA PLAN - LEVELS 5-7
1/32" = 1'-0"

BUILDING IDENTIFICATION :	4000					
BUILDING OCCUPANCY CLASSIFICATION :	R-2					
AREA ALLOWED (PER 506.2.3):	384,00	0 SQ.FT.				
SQ.FT. INCREASE ALLOWED BY AREA MODIFICATIONS (PER 506)						
AREA ALLOWED PER FLOOR (PER 506.2):	96,000	SQ.FT.				
AREA PROVIDED		ROSS AREA TABLES BELOW				
TYPE OF CONSTRUCTION:	IIIA					
BUILDING HEIGHT ALLOWANCE (PER 504.3):	85' - 0"	1				
BUILDING HEIGHT PROVIDED :	76' - 0"	1				
NUMBER OF STORIES ALLOWED (PER 504.4):	5					
NUMBER OF STORIES PROVIDED :	5					
FIRE RATING :		WALLS AND PARTITIONS	OPEN	ING PROTECTION		
FIRE WALLS (PER 706.4):		3 HOUR	3 HOU	R		
SHAFT ENCLOSURES GREATER THAN 4 STORIES (PER 713.4)):	2 HOUR	1 1/2 F	IOUR		
MIXED OCCUPANCY SEPARATION (PER 508.4):		VARIES - SEE PLANS	1 1/2 F			
INTERIOR BEARING WALLS (PER 601):		1 HOUR	-			
INTERIOR NON-BEARING WALLS (PER 601):		0 HOUR	-			
EXT. BEARING WALLS (PER 601):		2 HOUR	3/4 HC	DUR		
EXT. BEARING WALLS: GREATER THAN 30' SEPARATION (PER	R 602):	1 HOUR	-			
EXT. BEARING WALLS: LESS THAN 30' SEPARATION (PER 602	,	1 HOUR	3/4 HC	DUR		
CORRIDOR WALLS (PER 1020.1):	7.	1/2 HOUR	1/3 HC			
ELEVATOR SHAFT WALLS (PER 713.4):		2 HOUR	1 1/2 F			
REFUSE CHUTE SHAFT WALLS AND TERMINATION ROOM (PE	FR 713 13\·	2 HOUR	1 1/2 F			
REFUSE ACCESS AND ROOMS (PER 713.13):	_1(7 13.13).	1 HOUR	3/4 HC			
FLOOR / CEILING CONSTRUCTION (PER 601):		1 HOUR	3/4110	OIX		
ROOF CEILING CONSTRUCTION (PER 601):		1 HOUR	-			
PRIMARY STRUCTURAL FRAME (PER 601):		1 HOUR	-			
TRIVIART STRUCTURAL PRAIVIL (FER 1001).		THOOK				
STAIRS:						
STAIR WIDTH (PER 1009.1):	MIN. R	EQUIRED: 44"	MIN. PF	ROVIDED 48"		
,		·				
ELEVATOR LOBBIES						
REQUIRED (PER 708.14.1 EXCEPTION 4):	YES					
FLOOR LOCATIONS:	LEVEL	LEVELS 3-7				
FIDE DEOTECTION OVETEN	1					
FIRE PROTECTION SYSTEM	N.E.	40				
SPRINKLER SYSTEM PROVIDED (PER 903.3.1.1):	NFPA					
STANDPIPES REQUIRED (PER 905):	· ·	YES, WET SYSTEM AT STAIRWAYS PROVIDED 75' MAX TRAVEL DIST./COMMON CORRIDOR/RESIDENTIAL UNITS				
FIRE EXTINGUISHERS (PER 906):	PROVI	אטווו / ז' MAX TRAVEL DIST./C	OMMON	CURRIDUR/RESIDENTIAL UNITS		
EXITS REQUIRED						
	DED	I OOR: DED EI OOD: 2 MINIMALII	N/ \A/ITI !!!	N ALLOWED TRAVEL DISTANCE		
BUILDING EXITS (PER 1006.3.2):			IVI VVII HII	A ALLOWED TRAVEL DISTANCE		
HORIZONTAL EXITS (PER 1026):		LANS FOR LOCATION				
TRAVEL DISTANCE (PER 1017.2):		EET ALLOWED		CEE DI ANO FOD DOOL!!DED		
DEAD END CORRIDOR (PER 1020.4 EXCEPTION 2):		ET ALLOWED ALLOWED	DANT	SEE PLANS FOR PROVIDED		
UNITS OF EGRESS (PER 1005.1):		IDOR WIDTH = .20 PER OCCUPANT				
	STAIR	WIDTH = .30 PER OCCUPANT				
ROOF ACCESS						
ROOF ACCESS PROVIDED:	VEQ V	/IA ROOF HATCH AT EACH ST/	ΔΙΡΙΛΙΛΥ			
NAME TO A CONTROL OF THE AND A	1 E S, V	TA NOOL HATOR AT EACH ST	~\!I\VV <i>!</i> ^\1			
ATTIC VENTILATION ATTIC VENTILATION REQUIRED (PER 1202.2):	LIKIVE	NTED ATTIC PER SECTION 120	12 3			

TOTAL GROSS - BUILDING 4000					
BLDG NUMBER	AREA				
LEVEL 3					
4000	22,200 SF				
LEVEL 4					
4000	22,200 SF				
LEVEL 5					
4000	19,215 SF				
LEVEL 6					
4000	19,215 SF				
LEVEL 7	•				
4000	19,215 SF				
GRAND TOTAL	102 044 SE				

ATTIC VENTILATION

ATTIC VENTILATION TYPE:

ATTIC VENTILATION REQUIRED (PER 1202.2):

BUILDING IDENTIFICATION :	3000					
BUILDING OCCUPANCY CLASSIFICATION :	R-2					
AREA ALLOWED (PER 506.2.3):	384,00	00 SQ.FT.				
SQ.FT. INCREASE ALLOWED BY AREA MODIFICATIONS (PER 506)						
AREA ALLOWED PER FLOOR (PER 506.2) : AREA PROVIDED	·) SQ.FT. GROSS AREA TABLES BELOW				
A CONTROL OF THE PROPERTY OF T	022 0	AND THE PROPERTY OF THE PROPER				
TYPE OF CONSTRUCTION :	IIIA					
BUILDING HEIGHT ALLOWANCE (PER 504.3):	85' - 0'	"				
BUILDING HEIGHT PROVIDED :	76' - 0'	"				
NUMBER OF STORIES ALLOWED (PER 504.4):	5					
NUMBER OF STORIES PROVIDED :	5					
FIRE RATING :		WALLS AND PARTITIONS	OPENIN	NG PROTECTION		
FIRE WALLS (PER 706.4):		3 HOUR	3 HOUF	2		
SHAFT ENCLOSURES GREATER THAN 4 STORIES (PER 713	3.4):	2 HOUR	1 1/2 HC	DUR		
MIXED OCCUPANCY SEPARATION (PER 508.4):		VARIES - SEE PLANS	1 1/2 HO	DUR		
INTERIOR BEARING WALLS (PER 601):		1 HOUR	-			
INTERIOR NON-BEARING WALLS (PER 601):		0 HOUR	-			
EXT. BEARING WALLS (PER 601):		2 HOUR	3/4 HOU	JR		
EXT. BEARING WALLS: GREATER THAN 30' SEPARATION (F	PER 602):	1 HOUR	-			
EXT. BEARING WALLS: LESS THAN 30' SEPARATION (PER 6	602):	1 HOUR	3/4 HOU	JR		
CORRIDOR WALLS (PER 1020.1):		1/2 HOUR	1/3 HOU	JR		
ELEVATOR SHAFT WALLS (PER 713.4):		2 HOUR	1 1/2 HO	DUR		
REFUSE CHUTE SHAFT WALLS AND TERMINATION ROOM ((PER 713.13):	2 HOUR	1 1/2 HO	DUR		
REFUSE ACCESS AND ROOMS (PER 713.13):		1 HOUR	3/4 HOU	JR		
FLOOR / CEILING CONSTRUCTION (PER 601):		1 HOUR	-			
ROOF CEILING CONSTRUCTION (PER 601):		1 HOUR				
PRIMARY STRUCTURAL FRAME (PER 601):		1 HOUR	-			
STAIRS:						
STAIR WIDTH (PER 1009.1):	MIN. F	REQUIRED: 44"	MIN. PR	OVIDED 48"		
ELEVATOR LOBBIES						
REQUIRED (PER 708.14.1 EXCEPTION 4):	YES					
FLOOR LOCATIONS:	LEVEL	_S 3-7				
FIRE PROTECTION SYSTEM						
SPRINKLER SYSTEM PROVIDED (PER 903.3.1.1):	NFPA	13				
STANDPIPES REQUIRED (PER 905):		YES, WET SYSTEM AT STAIRWAYS				
FIRE EXTINGUISHERS (PER 906):		PROVIDED 75' MAX TRAVEL DIST./COMMON CORRIDOR/RESIDENTIAL UNITS				
EXITS REQUIRED						
BUILDING EXITS (PER 1006.3.2):	PER F	LOOR: PER FLOOR: 2 MINIMU	JM WITHIN	ALLOWED TRAVEL DISTANCE		
HORIZONTAL EXITS (PER 1026):		PLANS FOR LOCATION				
TRAVEL DISTANCE (PER 1017.2):		EET ALLOWED				
DEAD END CORRIDOR (PER 1020.4 EXCEPTION 2):		ET ALLOWED ALLOWED		SEE PLANS FOR PROVIDED		
UNITS OF EGRESS (PER 1005.1):	CORR	RIDOR WIDTH = .20 PER OCCU	JPANT			
	STAIR	WIDTH = .30 PER OCCUPANT	Г			

UNVENTED ATTIC PER SECTION 1202.3

NOT APPLICABLE

TOTAL GROSS - BUILDING 3000						
BLDG NUMBER	AREA					
LEVEL 3						
3000	12,944 SF					
LEVEL 4						
3000	12,944 SF					
LEVEL 5						
3000	12,944 SF					
LEVEL 6						
3000	12,944 SF					
LEVEL 7						
3000	12,944 SF					
GRAND TOTAL	64,718 SF					

BUILDING CODE DATA DESIGN REVIEW PACKAGE JOB NUMBER: 2032701

360 WEST 300 SOUTH SUITE 102 SALT LAKE CITY, UT 84101 PHONE: 385.273.3888 dwelldesignstudio.com

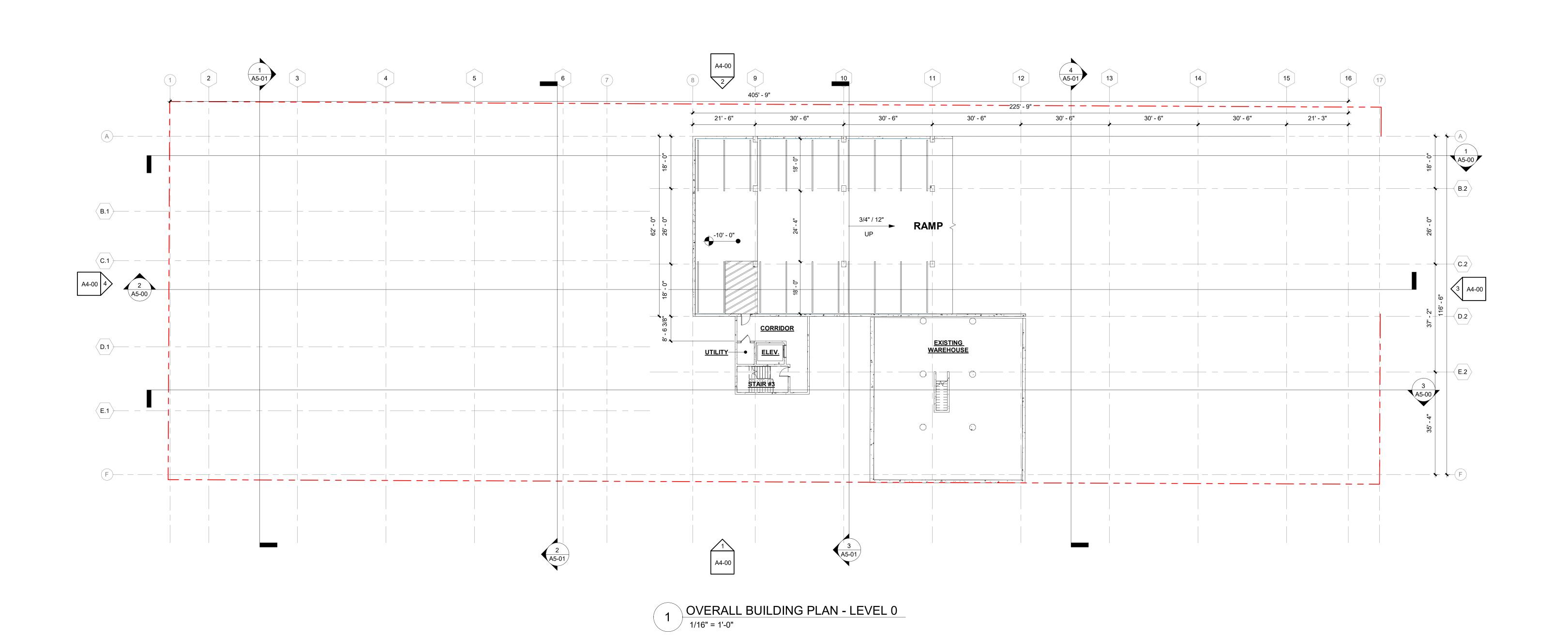
CINQ

A DEVELOPMENT FOR: db URBAN

COMMUNITIES

ISSUE
DATE DESCRIPTION

2020 09-25 DESIGN REVIEW PACKAGE



360 WEST 300 SOUTH
SUITE 102
SALT LAKE CITY, UT 84101
PHONE: 385.273.3888
dwelldesignstudio.com

CINQ530 WEST 200 SOUTH
SALT LAKE CITY, UTAH 84101

db URBAN
COMMUNITIES

ISSUE
DATE DESCRIPTION INCLUDED
2020 09-25 DESIGN REVIEW PACKAGE X

REVISION
DATE DESCRIPTION

SEAL:

DISCLAIMER:
THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF DWELL DESIGN STUDIO, AND ARE NOT TO BE REPRODUCED ON ROPIDE IN WHOLE OR IN PART. EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF DWELL DESIGN STUDIO.

SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY, THE DIMENSIONS OF WHICH ARE 30 x 42 INCHES.

OVERALL
BUILDING PLAN
- BASEMENT
LEVEL

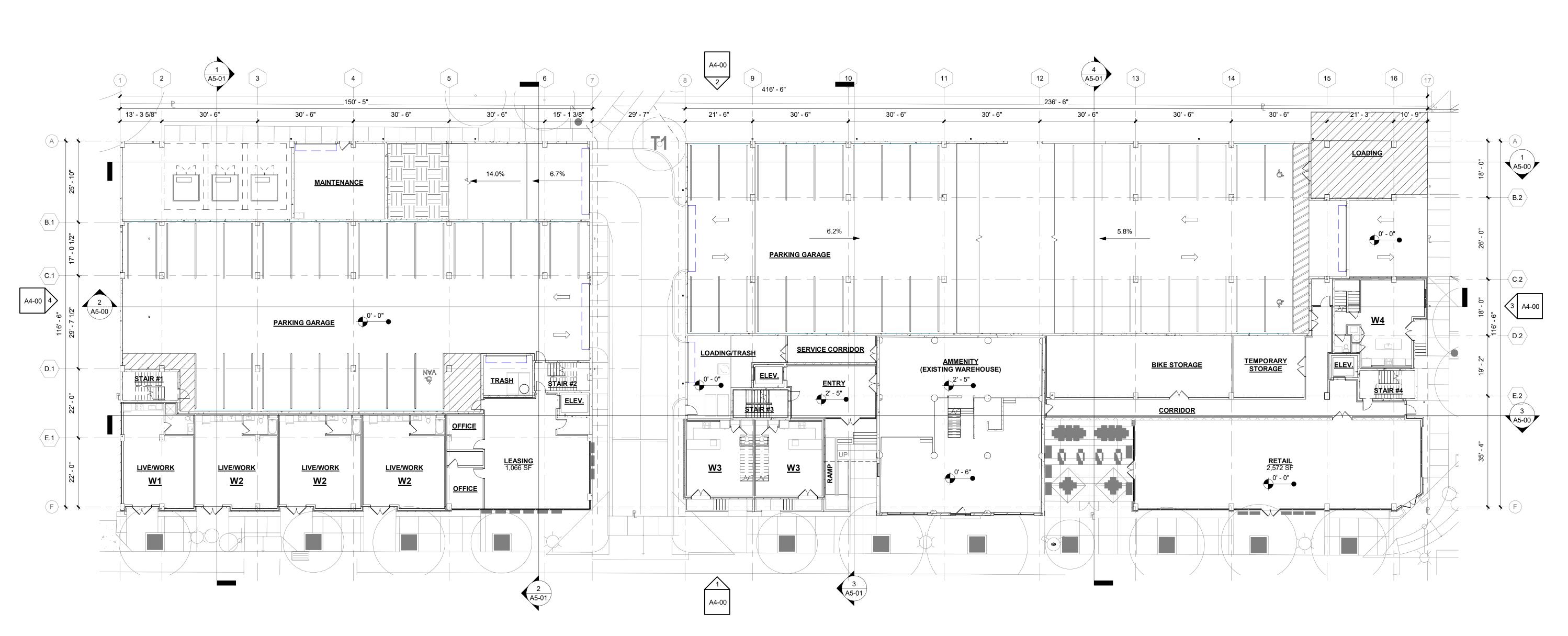
LEVEL

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY CHECKED BY
Author Checker

A0-00



1 OVERALL BUILDING PLAN - LEVEL 1
1/16" = 1'-0"

360 WEST 300 SOUTH
SUITE 102
SALT LAKE CITY, UT 84101
PHONE: 385.273.3888
dwelldesignstudio.com

CINQ 530 WEST 200 SOUTH

db URBAN COMMUNITIES

ISSUE
DATE DESCRIPTION
2020 09-25 DESIGN REVIEW PACKAGE

REVISION
DATE DESCRIPTION

DATE DESCRIPTION

SEAL:

DISCLAIMER:
THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF DWELL DESIGN STUDIO, AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED ON ANY OTHER PROJECT WITHOUT WRITE CONSENS OF DESIGN OF THE PROJECT WITHOUT WRITE CONSENS OF DESIGN OF THE PROJECT WITHOUT WRITE CONSENS AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY, THE DIMENSIONS OF WHICH ARE 30 x 42 INCHEST

OVERALL
BUILDING PLAN
- LEVEL 1

SIGN REVIEW PACKAGE

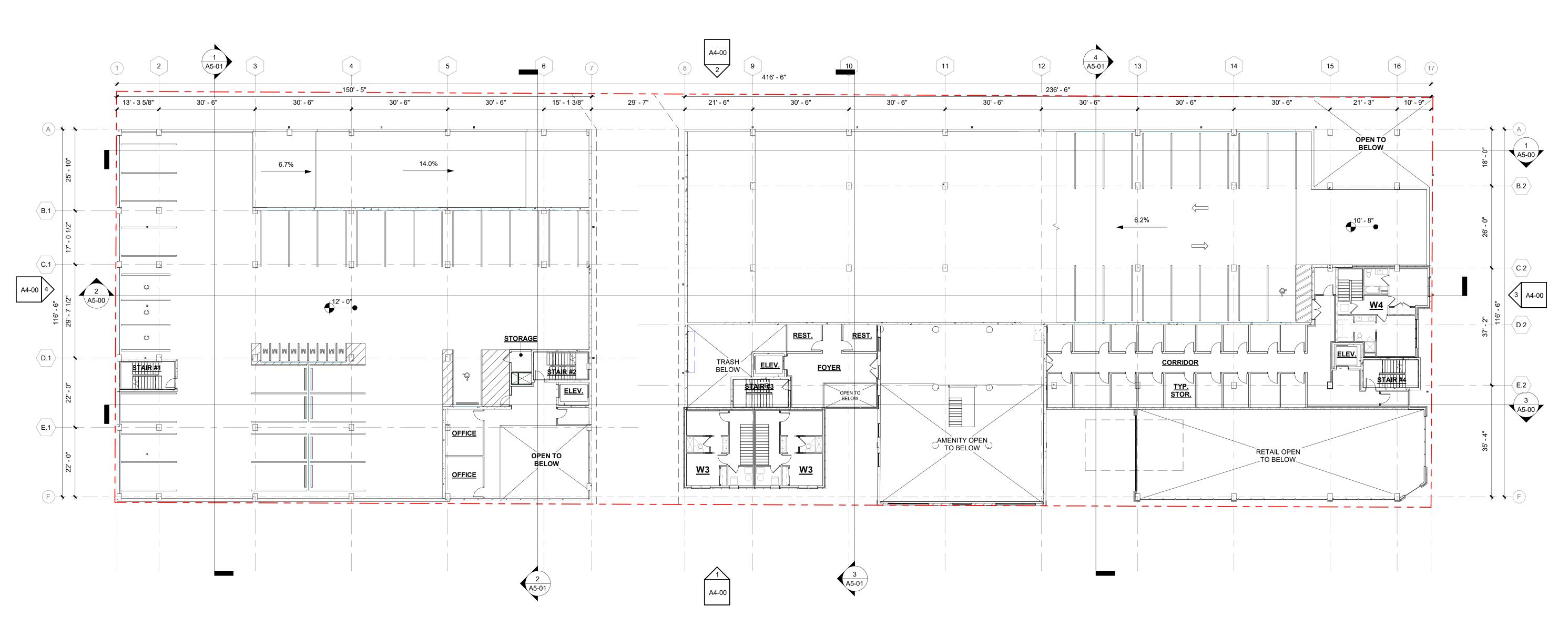
DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY CHECKED BY

thor Checker

0-01



1 OVERALL BUILDING PLAN - LEVEL 2

1/16" = 1'-0"

360 WEST 300 SOUTH SUITE 102 SALT LAKE CITY, UT 84101 PHONE: 385.273.3888 dwelldesignstudio.com

CINQ

db URBAN COMMUNITIES

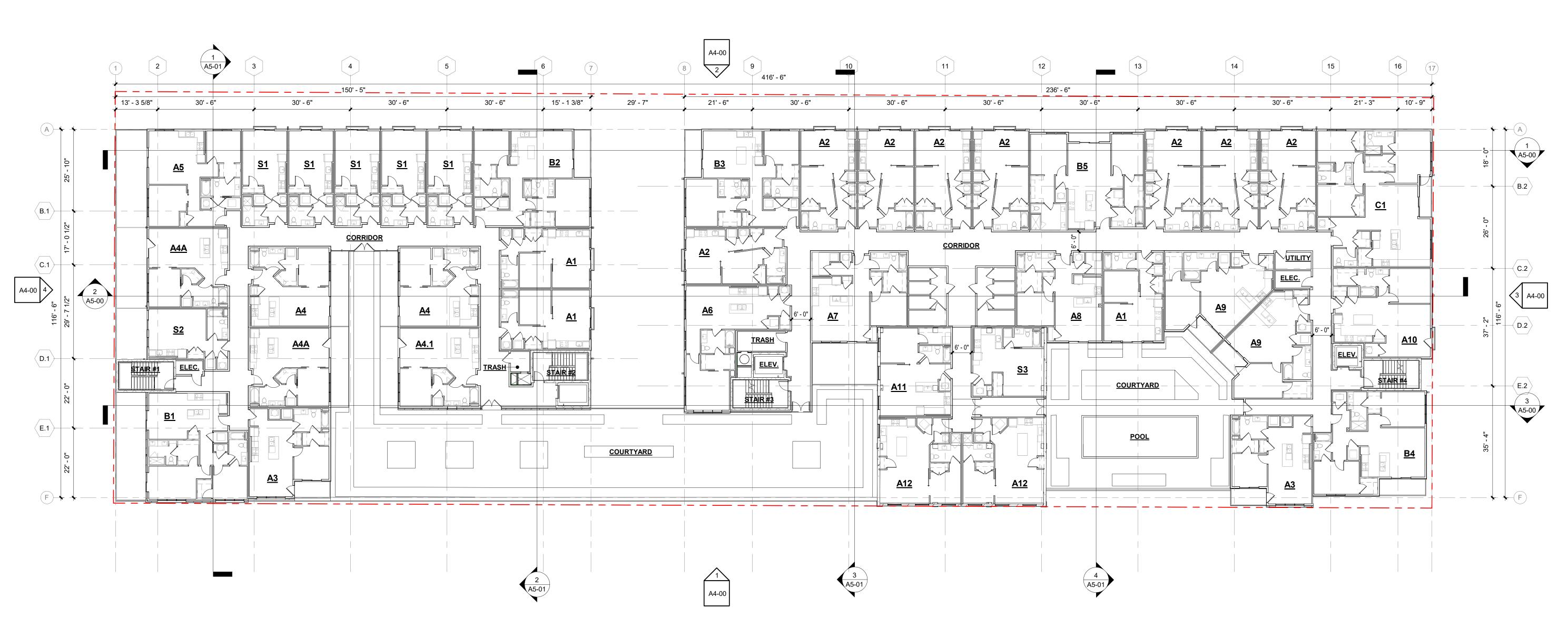
ISSUE
DATE DESCRIPTION
2020 09-25 DESIGN REVIEW PACKAGE

REVISION

OVERALL BUILDING PLAN - LEVEL 2

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701



1 OVERALL BUILDING PLAN - LEVEL 3
1/16" = 1'-0"

360 WEST 300 SOUTH
SUITE 102
SALT LAKE CITY, UT 84101
PHONE: 385.273.3888
dwelldesignstudio.com

SALT LAKE CITY, UTAH 84101

db URBAN COMMUNITIES

ISSUE
DATE DESCRIPTION
2020 09-25 DESIGN REVIEW PACKAGE

REVISION
DATE DESCRIPTION

SEAL:

DISCLAIMER:
THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUS
PROPERTY OF DWELL DESIGN STUDIO, AND ARE NOT TO BE
REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS
REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USE
FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN.
ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITT
CONSENT OF DWELL DESIGN STUDIO.
SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGIN
DRAWING ONLY, THE DIMENSIONS OF WHICH ARE 30 x 42 INCHE

OVERALL
BUILDING PLAN
- LEVEL 3

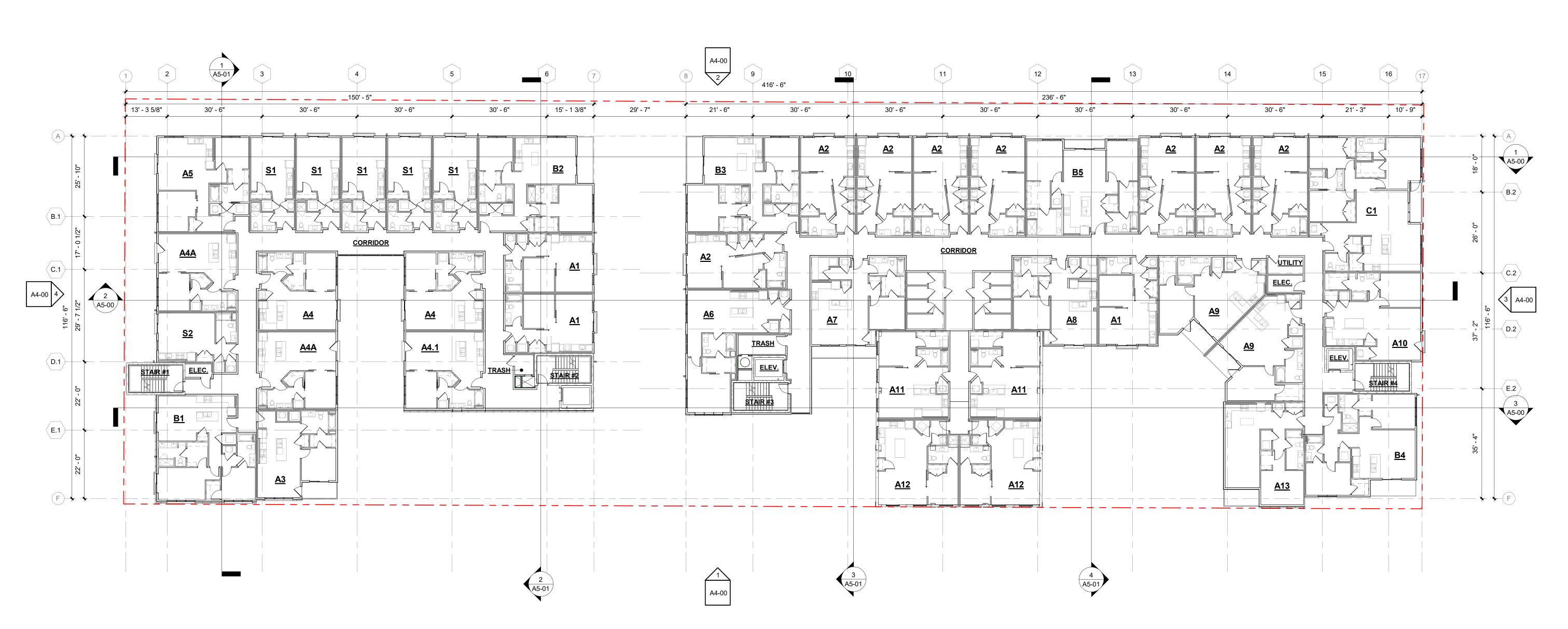
DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

3 NUMBER: 2032701

DRAWN BY CHECKED BY
Author Checker

0-03



1 OVERALL BUILDING PLAN - LEVEL 4
1/16" = 1'-0"

360 WEST 300 SOUTH
SUITE 102
SALT LAKE CITY, UT 84101
PHONE: 385.273.3888
dwelldesignstudio.com

CINQ530 WEST 200 SOUTH
SALT LAKE CITY, UTAH 84101

db URBAN COMMUNITIES

ISSUE
DATE DESCRIPTION
2020 09-25 DESIGN REVIEW PACKAGE

REVISION
DATE DESCRIP

DISCLAIMER:
THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE
PROPERTY OF DWELL DESIGN STUDIO, AND ARE NOT TO BE
REPRODUCED OR COPIED IN WHOLE OR IN PART. EXCEPT AS
REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USE
FOR THIS PROJECT AND SITE SPECIFICALLY DENTIFIED HEREIN AN
ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTER

OVERALL
BUILDING PLAN
- LEVEL 4

DESIGN REVIEW PACKAGE

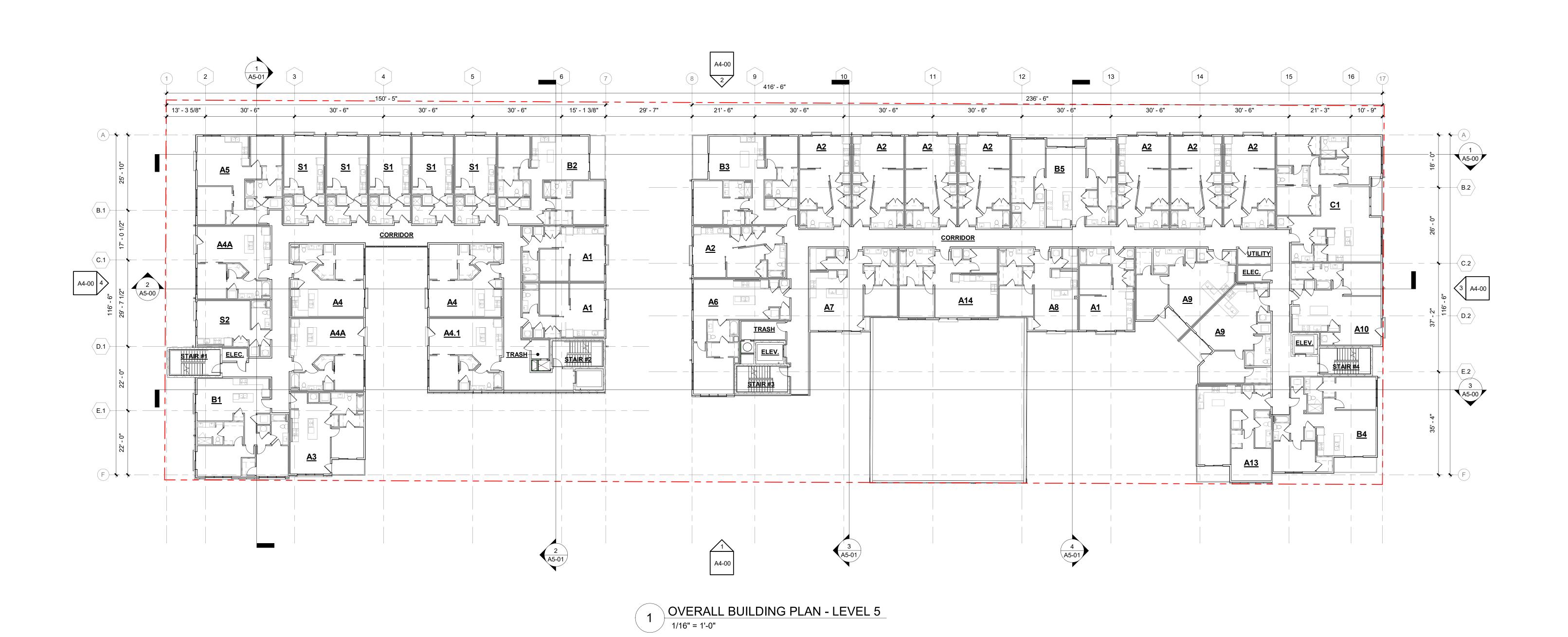
DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY CHECKED BY

thor Checker

0-04



CINQ

360 WEST 300 SOUTH SUITE 102 SALT LAKE CITY, UT 84101 PHONE: 385.273.3888 dwelldesignstudio.com

db URBAN COMMUNITIES

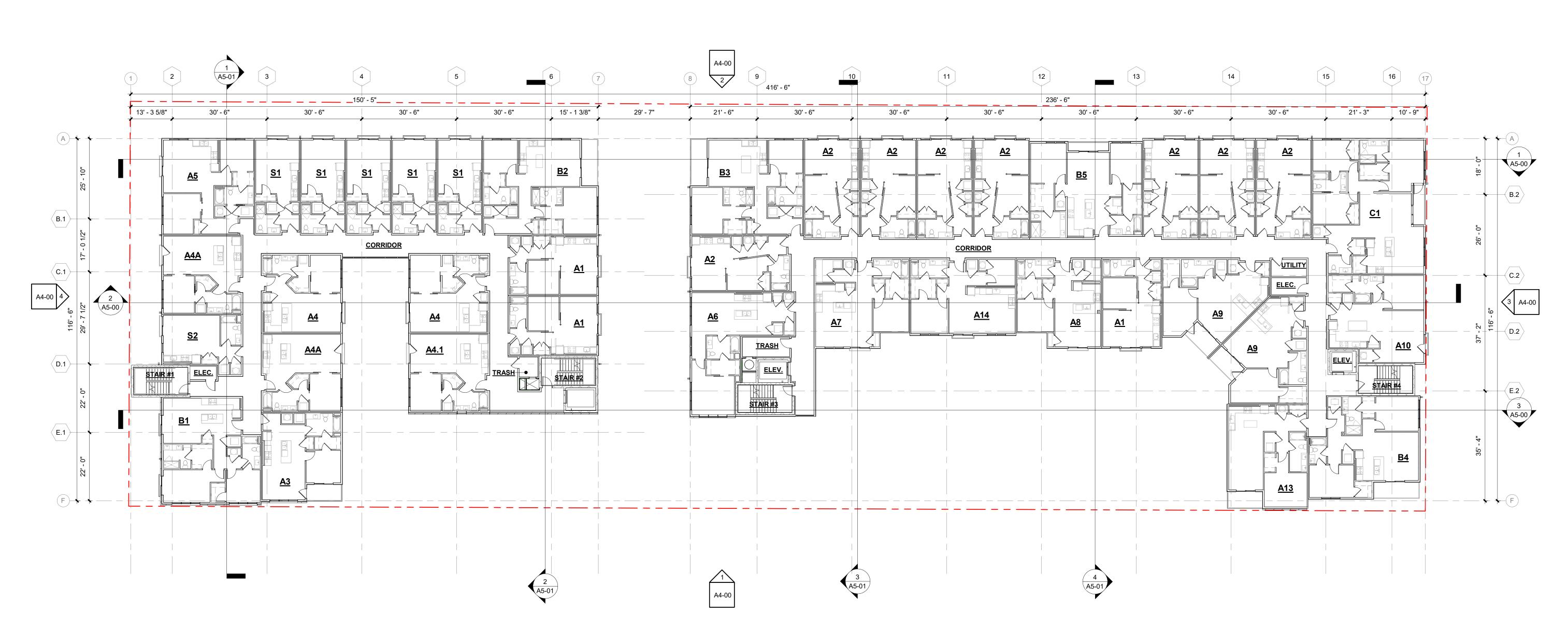
ISSUE
DATE DESCRIPTION
2020 09-25 DESIGN REVIEW PACKAGE

REVISION

OVERALL BUILDING PLAN - LEVEL 5

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701



1 OVERALL BUILDING PLAN - LEVEL 6
1/16" = 1'-0"

360 WEST 300 SOUTH SUITE 102 SALT LAKE CITY, UT 84101 PHONE: 385.273.3888 dwelldesignstudio.com

CINQ

db URBAN COMMUNITIES

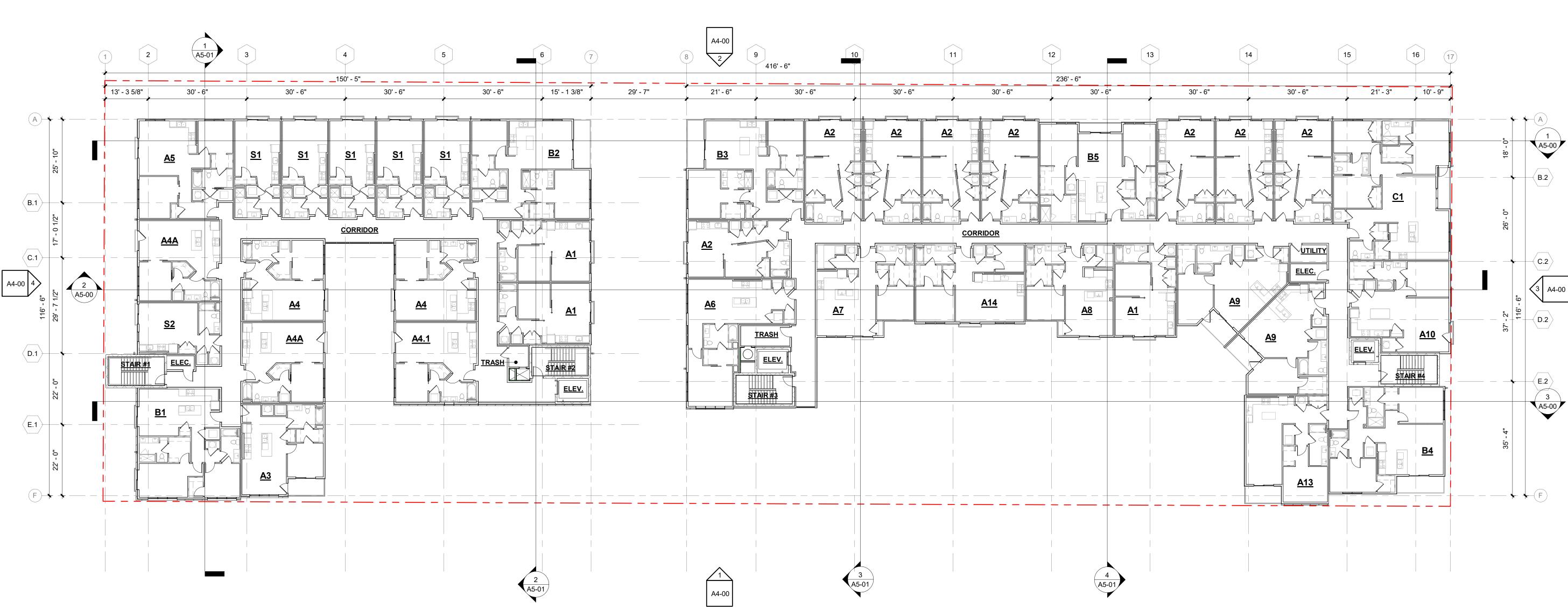
ISSUE
DATE DESCRIPTION
2020 09-25 DESIGN REVIEW PACKAGE

REVISION

OVERALL BUILDING PLAN - LEVEL 6

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701



1 OVERALL BUILDING PLAN - LEVEL 7

1/16" = 1'-0"

360 WEST 300 SOUTH SUITE 102 SALT LAKE CITY, UT 84101 PHONE: 385.273.3888 dwelldesignstudio.com

CINQ

db URBAN COMMUNITIES

ISSUE
DATE DESCRIPTION
2020 09-25 DESIGN REVIEW PACKAGE

REVISION

OVERALL BUILDING PLAN - LEVEL 7

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

360 WEST 300 SOUTH SUITE 102 SALT LAKE CITY, UT 84101 PHONE: 385.273.3888 dwelldesignstudio.com

CINQ

A DEVELOPMENT FOR: db URBAN COMMUNITIES

ISSUE
DATE DESCRIPTION
2020 09-25 DESIGN REVIEW PACKAGE

REVISION

OVERALL
BUILDING PLAN
- ROOF LEVEL

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701



dwell clesign stucio

360 WEST 300 SOUTH SUITE 102 SALT LAKE CITY, UT 84101 PHONE: 385.273.3888 dwelldesignstudio.com

CINQ
WEST 200 SOUTH
KE CITY, UTAH 84101

db URBAN
COMMUNITIES

ISSUE
DATE DESCRIPTION INCLUD
2020 09-25 DESIGN REVIEW PACKAGE

REVISION DATE DESCR

DISCLAIMER:
THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF DWELL DESIGN STUDIO, AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USFOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AT ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTE CONSENT OF DWELL DESIGN STUDIO.

SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAD DRAWING ONLY, THE DIMENSIONS OF WHICH ARE 30 x 42 INCHESTING THE PROJECT OF THE DIMENSIONS OF WHICH ARE SON AS INCHESTING ONLY.

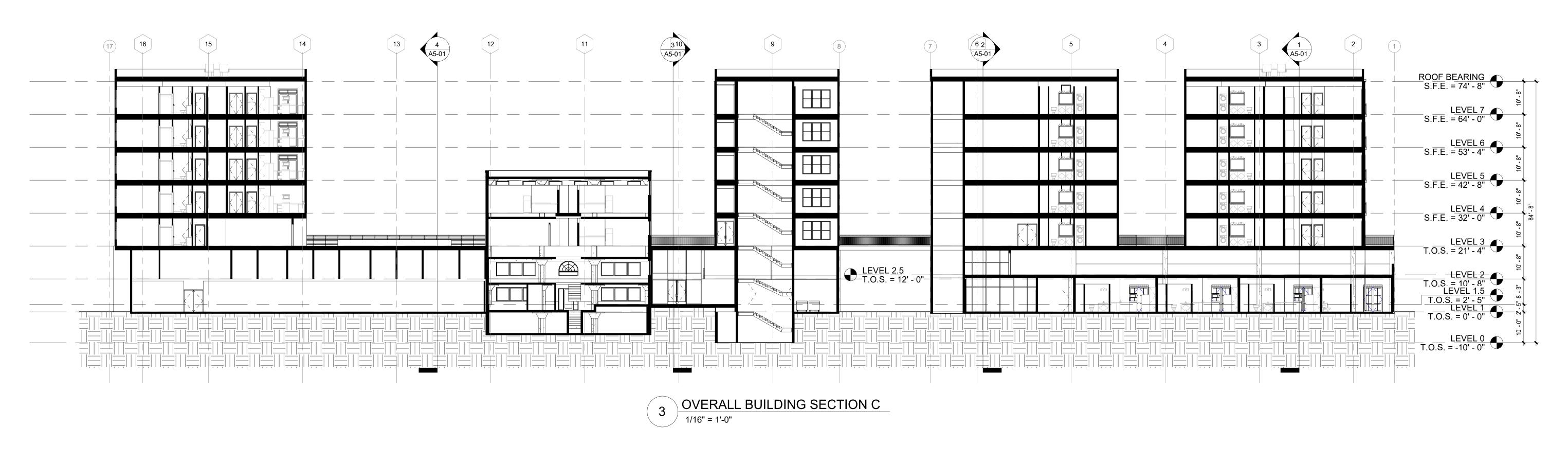
OVERALL BUILDING ELEVATIONS

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

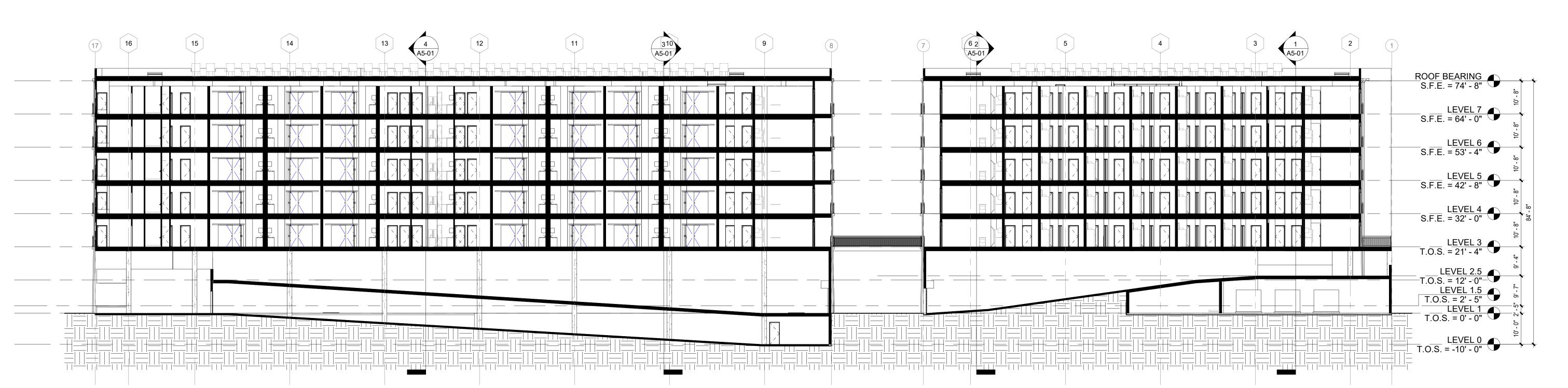
DRAWN BY CHECKED BY
Author Checker

A4-00



HOOP BEARING ST. E. T. T. S. E. T. S. E

2 OVERALL BUILDING SECTION B
1/16" = 1'-0"



OVERALL BUILDING SECTION A

1/16" = 1'-0"

dwell design studio

360 WEST 300 SOUTH SUITE 102 SALT LAKE CITY, UT 84101 PHONE: 385.273.3888 dwelldesignstudio.com

CINQ
530 WEST 200 SOUTH
-T LAKE CITY, UTAH 84101

db URBAN
COMMUNITIES

ISSUE
DATE DESCRIPTION INCLUE
2020 09-25 DESIGN REVIEW PACKAGE

REVISION
DATE DESCRIPTION

SEAL:

DISCLAIMER:
THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF DWELL DESIGN STUDIO, AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF DWELL DESIGN STUDIO.

SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY, THE DIMENSIONS OF WHICH ARE 30 x 42 INCHES.

SHEET NAME:

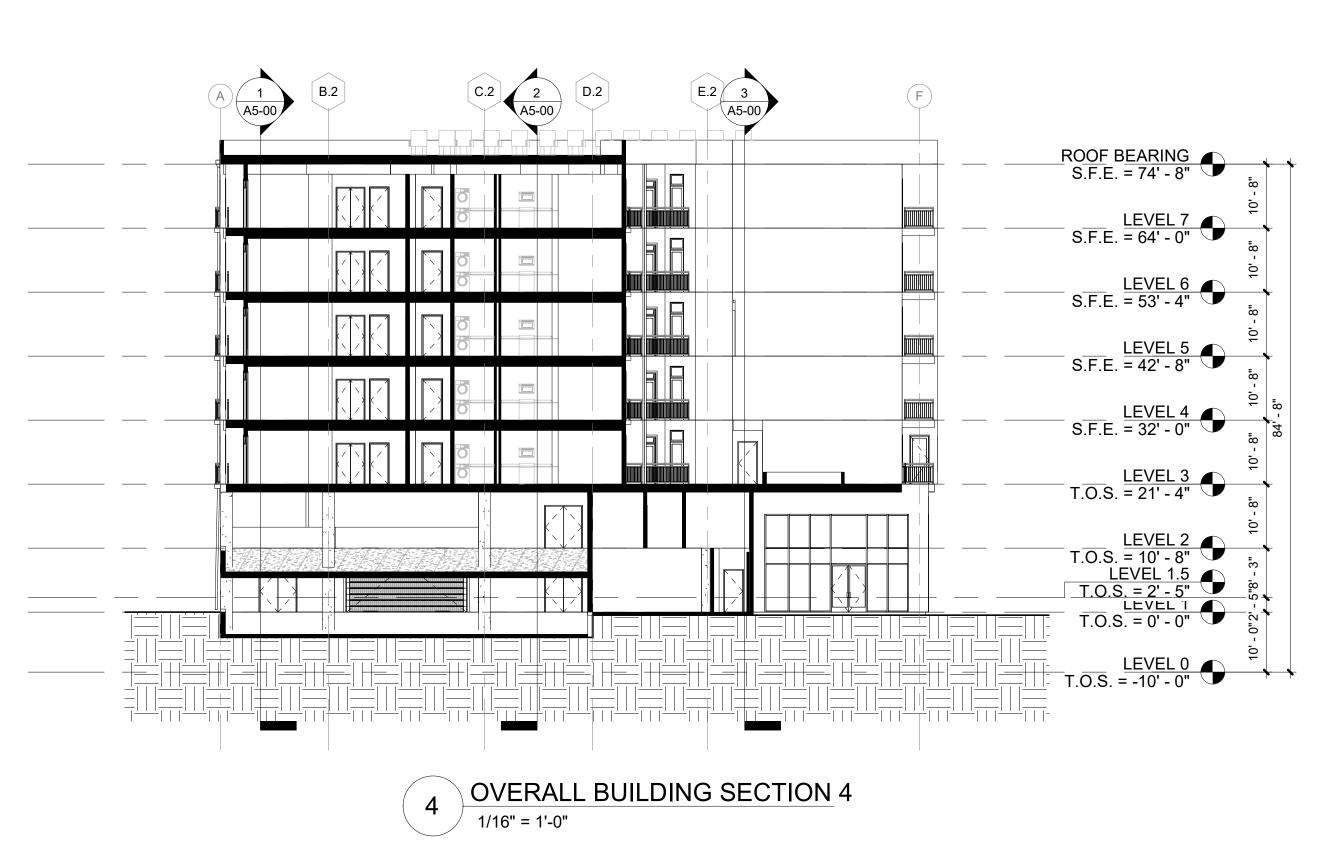
OVERALL
BUILDING
SECTIONS

DESIGN REVIEW PACKAGE

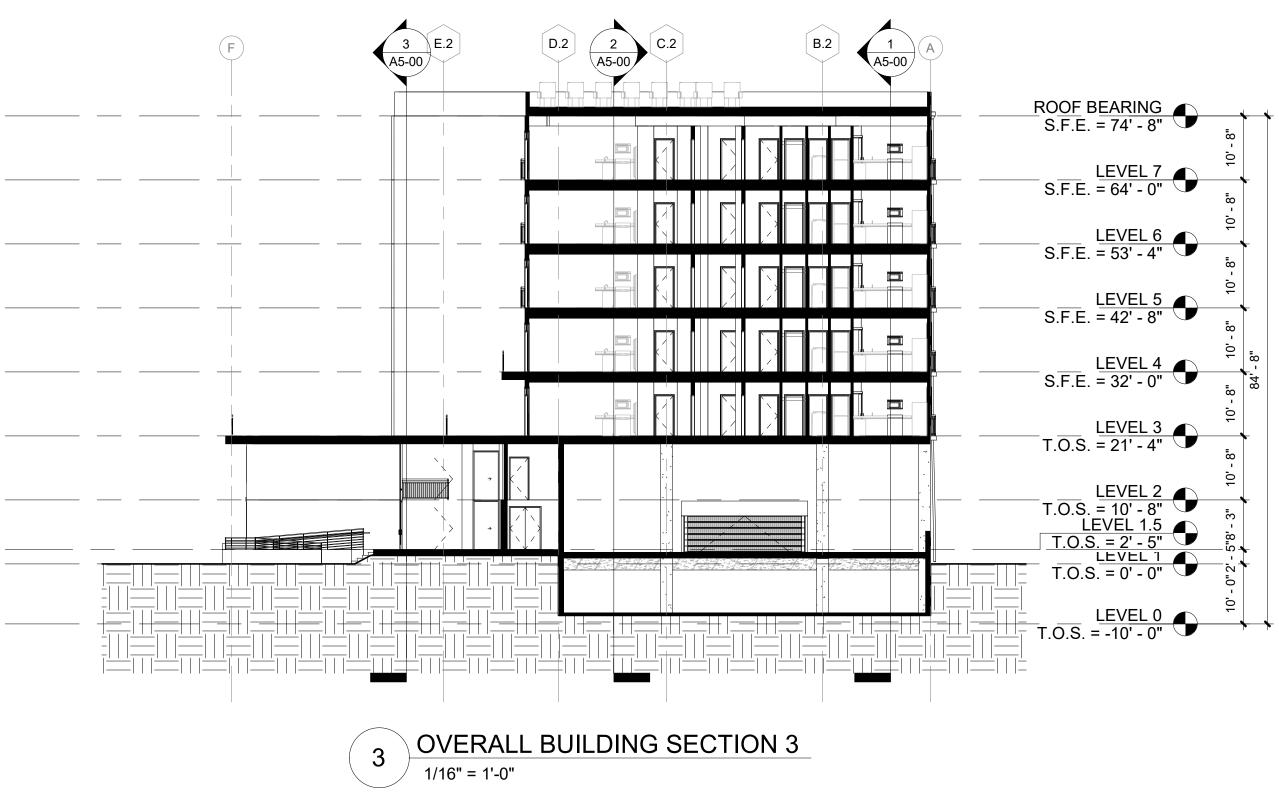
JOB NUMBER: 2032701

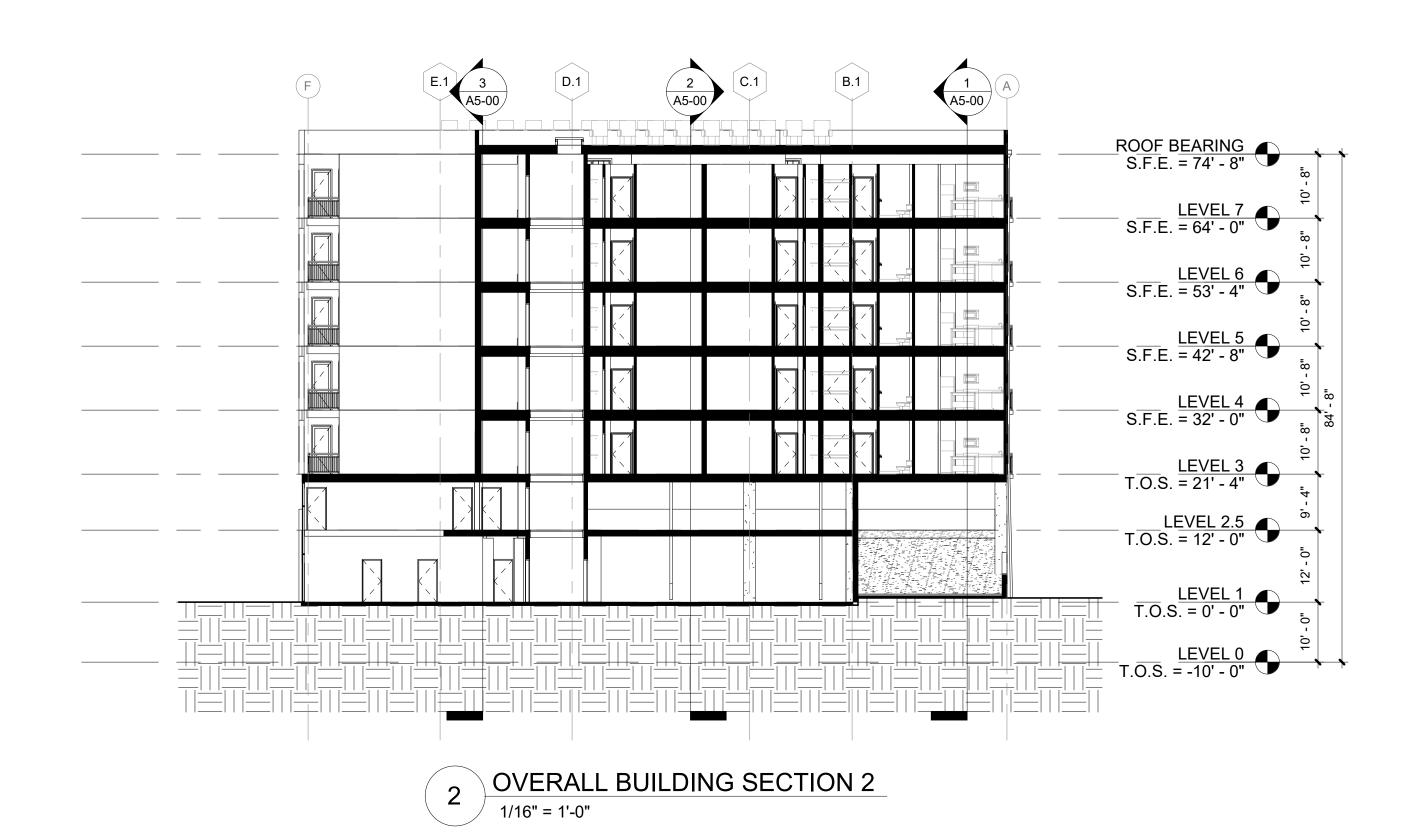
DRAWN BY CHECKED BY EH/AL/SW MO

A5-00



1/16" = 1'-0"





ROOF BEARING
S.F.E. = 74 · 8'

LEVEL 7

S.F.E. = 64' · 0'

S.F.E. = 53 · 4'

LEVEL 6

S.F.E. = 32' · 0'

LEVEL 5

S.F.E. = 32' · 0'

LEVEL 3

T.O.S. = 21' · 4'

LEVEL 25

T.O.S. = 12 · 0'

LEVEL 3

LEVEL 5

LEVEL 5

LEVEL 5

LEVEL 5

LEVEL 5

LEVEL 5

LEVEL 6

S.F.E. = 32' · 0'

LEVEL 7

S.F.E. = 32' · 0'

LEVEL 9

L

1 OVERALL BUILDING SECTION 1
1/16" = 1'-0"

360 WEST 300 SOUTH
SUITE 102
SALT LAKE CITY, UT 84101
PHONE: 385.273.3888
dwelldesignstudio.com

CINQ 530 WEST 200 SOUTH

adevelopment for:

db URBAN

COMMUNITIES

ISSUE
DATE DESCRIPTION INCLUDE
2020 09-25 DESIGN REVIEW PACKAGE

REVISION
DATE DESCRIPTION

DISCLAIMER:

THIS DRAWING AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF DWELL DESIGN STUDIO, AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, EXCEPT AS REQUIRED FOR THE STATED PROJECT. THEY ARE ONLY TO BE USE FOR THIS PROJECT AND SITE SPECIFICALLY, IDENTIFIED HEREIN AN ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT OF DWELL DESIGN STUDIO.

SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY, THE DIMENSIONS OF WHICH ARE 30 x 42 INCHES.

SHEET NAME:

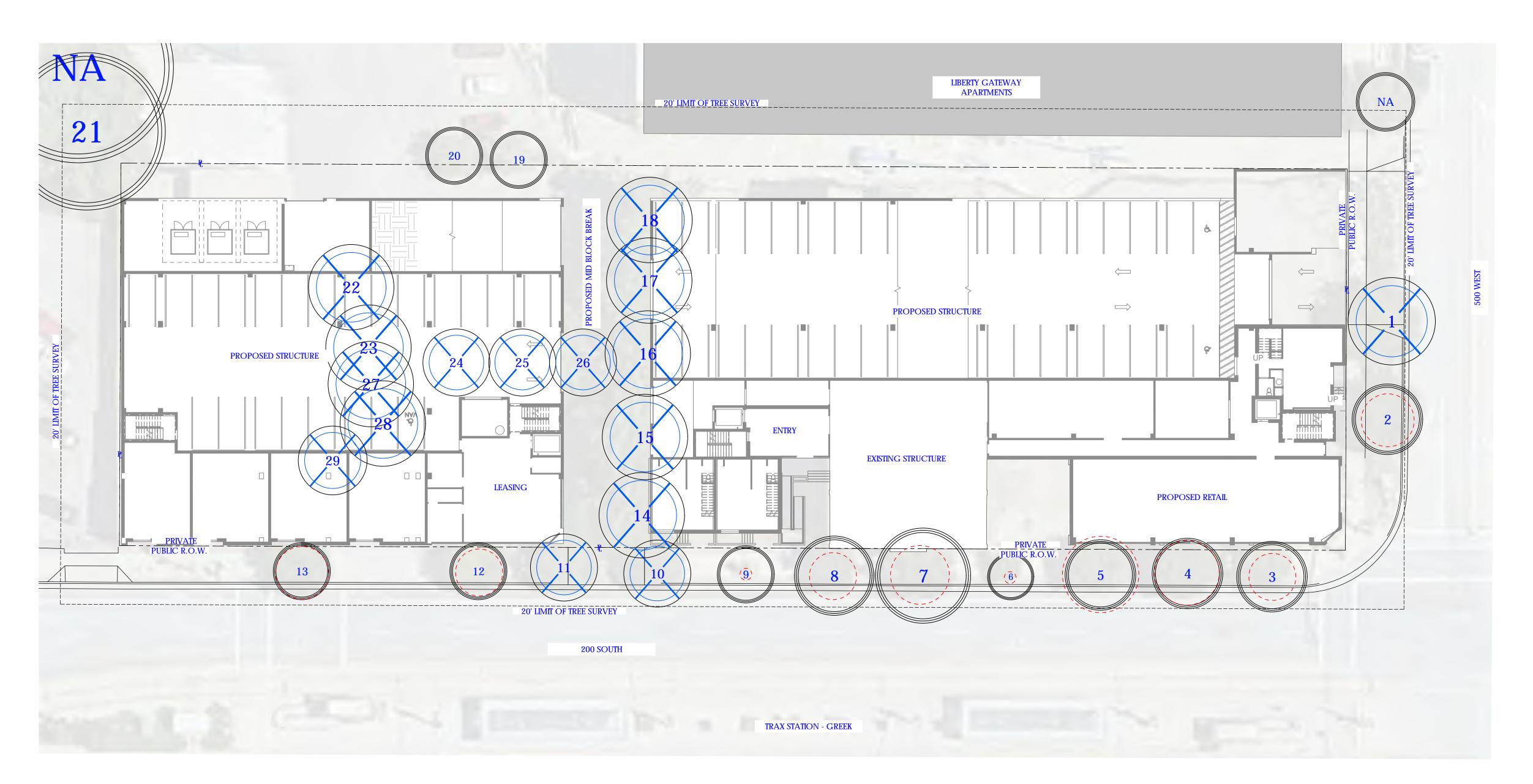
OVERALL
BUILDING
SECTIONS

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY CHECKED BY EH/AL/SW MO

A5-01



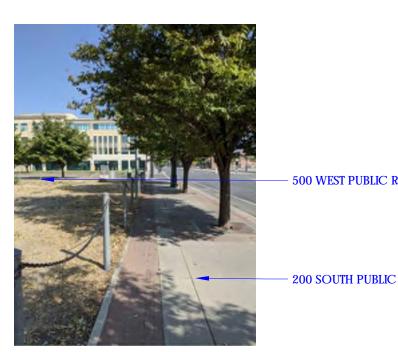


SYMBOL DESCRIPTION EXISTING TREE TO BE REMOVED EXISTING TREE TO PROTECTED *TREES MARKED N/A ARE BEYOND THE LIMIT OF THE TREE SURVEY TREE PROTECTION ZONE FOR PRESERVED TREES

1. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY AND NOTIFY LANDSCAPE ARCHITECT IF ANY UNMARKED TREES ARE FOUND 2. ALL NEIGHBORING VEGETATION IS CONTRACTOR'S RESPONSIBILITY TO PROTECT IN 3. ALL PRIVATE LANDSCAPE AREAS TO BE CLEARED AND GRUBBED

EGETATION Number	ACTION	TREE SPECIES	CONDITION	DBH	LOCATION	NOTE	R.O.W. TREE MITIGATION
1	DEMO	ZELKOVA SERRATA	GOOD	11"	R.O.W.	PROPOSED CURB CUT	11"
2	PROTECT	ZELKOVA SERRATA	GOOD	9"	R.O.W.	PARKSTRIP	0"
3	PROTECT	ZELKOVA SERRATA	GOOD	8"	R.O.W.	TREE GRATE	0"
4	PROTECT	ZELKOVA SERRATA	GOOD	11"	R.O.W.	TREE GRATE	0"
5	PROTECT	ZELKOVA SERRATA	GOOD	13"	R.O.W.	TREE GRATE	0"
6	PROTECT	ZELKOVA SERRATA	FAIR	2"	R.O.W.	TREE GRATE	0"
7	PROTECT	ZELKOVA SERRATA	GOOD	10"	R.O.W.	TREE GRATE	0"
8	PROTECT	ZELKOVA SERRATA	GOOD	8"	R.O.W.	TREE GRATE	0"
9	PROTECT	ZELKOVA SERRATA	FAIR	2"	R.O.W.	TREE GRATE	0"
10	DEMO	ZELKOVA SERRATA	GOOD	7"	R.O.W.	PROPOSED CURB CUT	7"
11	DEMO	ZELKOVA SERRATA	GOOD	8"	R.O.W.	PROPOSED CURB CUT	8"
12	PROTECT	ZELKOVA SERRATA	GOOD	8"	R.O.W.	TREE GRATE	0"
13	PROTECT	ZELKOVA SERRATA	GOOD	9"	R.O.W.	TREE GRATE	0"

14	DEMO	PLATANUS OCCIDENTALIS	GOOD	11"	PRIVATE	ROAD EASEMENT
15	DEMO	PLATANUS OCCIDENTALIS	GOOD	10"	PRIVATE	ROAD EASEMENT
16	DEMO	PLATANUS OCCIDENTALIS	GOOD	9"	PRIVATE	ROAD EASEMENT
17	DEMO	PLATANUS OCCIDENTALIS	GOOD	11"	PRIVATE	ROAD EASEMENT
18	DEMO	PLATANUS OCCIDENTALIS	GOOD	14"	PRIVATE	ROAD EASEMENT
19	PROTECT	PLATANUS OCCIDENTALIS	FAIR	5"	NEIGHBOR LOT	-
20	PROTECT	PLATANUS OCCIDENTALIS	FAIR	4"	NEIGHBOR LOT	-
21	PROTECT	ACER NEGUNDO	FAIR	30"	NEIGHBOR LOT	-
22	DEMO	PLATANUS OCCIDENTALIS	FAIR	12"	PRIVATE	PROPOSED STRUCTURE
23	DEMO	PLATANUS OCCIDENTALIS	FAIR	14"	PRIVATE	PROPOSED STRUCTURE
24	DEMO	PLATANUS OCCIDENTALIS	FAIR	5"	PRIVATE	PROPOSED STRUCTURE
25	DEMO	PLATANUS OCCIDENTALIS	FAIR	5"	PRIVATE	PROPOSED STRUCTURE
26	DEMO	PLATANUS OCCIDENTALIS	FAIR	9"	PRIVATE	ROAD EASEMENT
27	DEMO	PLATANUS OCCIDENTALIS	FAIR	12"	PRIVATE	PROPOSED STRUCTURE
28	DEMO	PLATANUS OCCIDENTALIS	FAIR	16"	PRIVATE	PROPOSED STRUCTURE
29	DEMO	ULMNUS PARVIFOLIA	FAIR	7"	PRIVATE	PROPOSED STRUCTURE



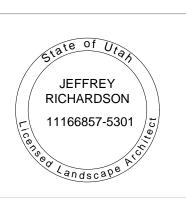




LANDSCAPE ARCHITECTURE // SITE DESIGN

511 W. 200 S. SUITE 125 SLC, UTAH 84101 OFFICE: 801.521.2370

WWW.LANDFORMDESIGNGROUP.COM



ALL RIGHTS RESERVED LANDFORM DESIGN GROUP

Drawings shall not be reproduced by any method; nor may they be used or re-used for any purpose without the express prior written permission of LANDFORM DESIGN GROUP.

This design indicates relationships based on data obtained from other parties and has been interpolated or combined by Landform Design Group to meet the requirements of this project. The subsequent accuracy of this document, while considered reliable, is not warranted or guaranteed.



DATE: 9.24.2020

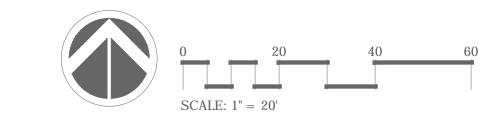
PROJECT: COM-20.10 REVIEWED: JDR

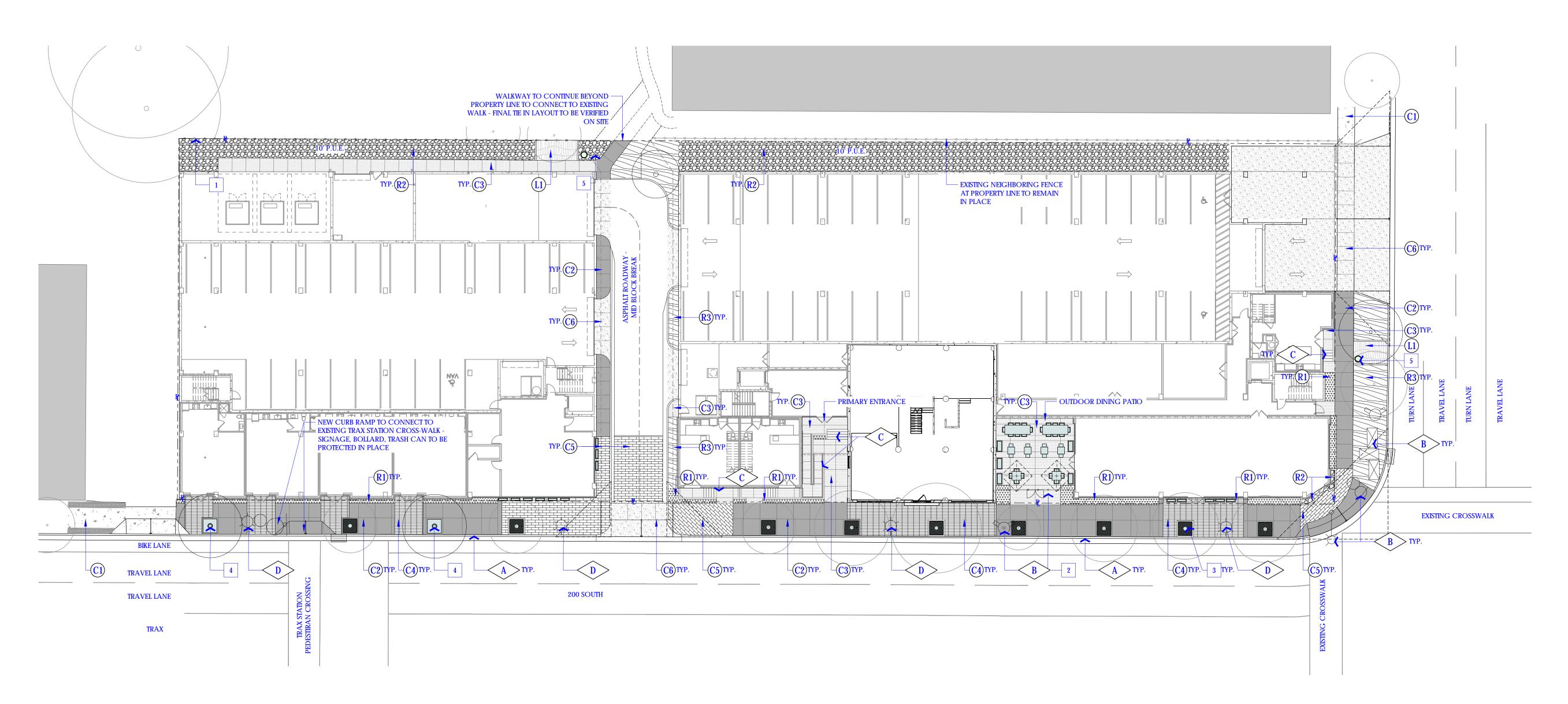
REVISIONS:

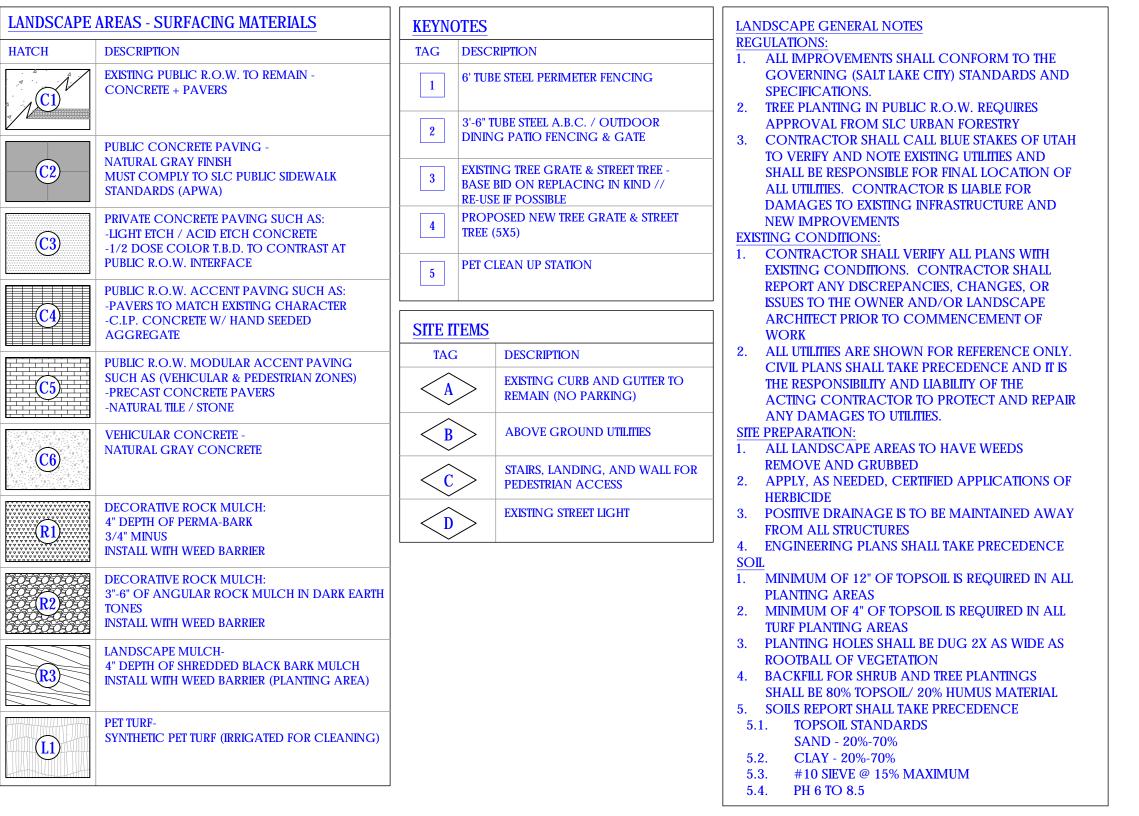
TREE SURVEY PLAN

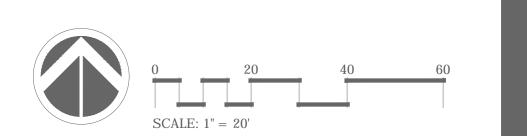
SHEET:

L0-01







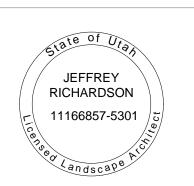




LANDSCAPE ARCHITECTURE // SITE DESIGN

511 W. 200 S. SUITE 125 SLC, UTAH 84101 OFFICE: 801.521.2370

WWW.LANDFORMDESIGNGROUP.COM



ALL RIGHTS RESERVED LANDFORM DESIGN GROUP

Drawings shall not be reproduced by any method; nor may they be used or re-used for any purpose without the express prior written permission of LANDFORM DESIGN GROUP.

This design indicates relationships based on data obtained from other parties and has been interpolated or combined by Landform Design Group to meet the requirements of this project. The subsequent accuracy of this document, while considered reliable, is not warranted or guaranteed.

SLC - CINQ

OHAN



DATE: 9.24.2020

PROJECT: COM-20.10

REVIEWED: JDR

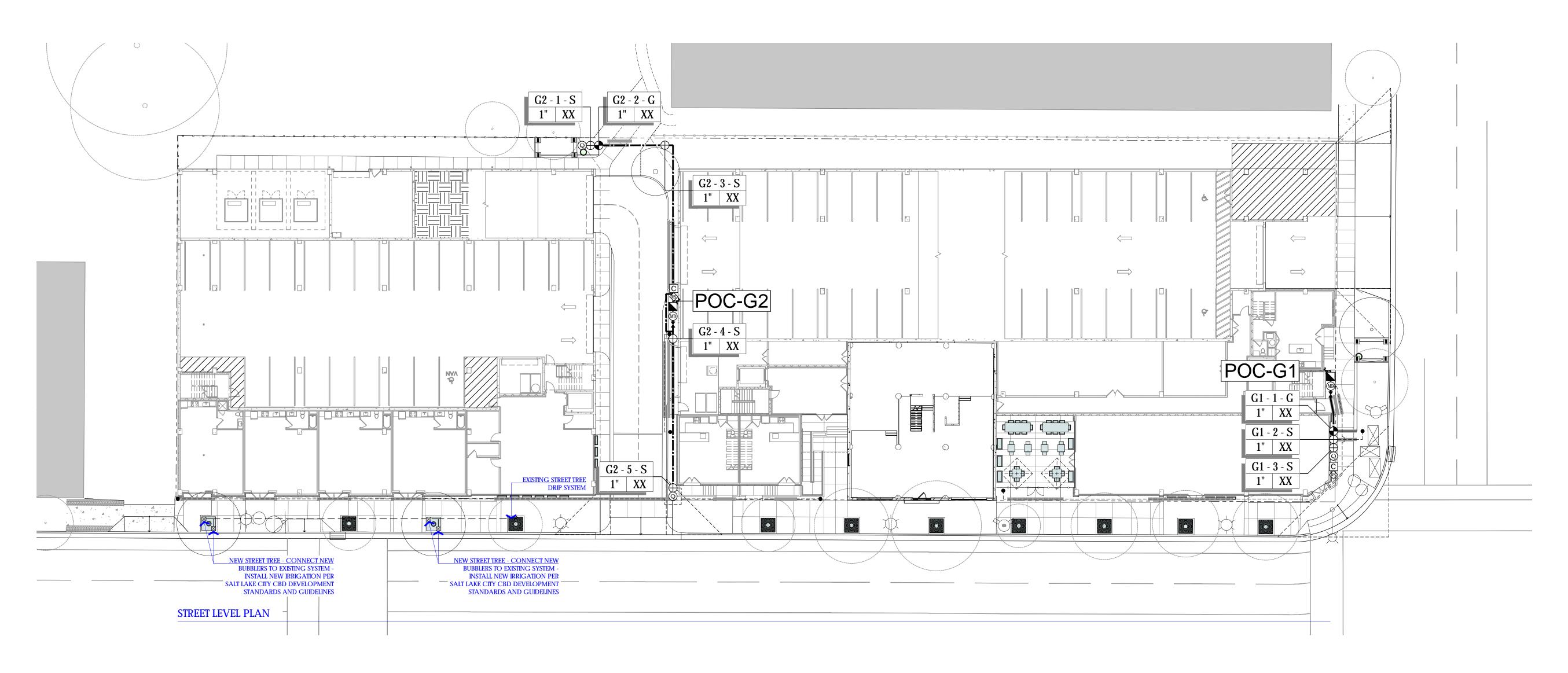
REVISIONS:

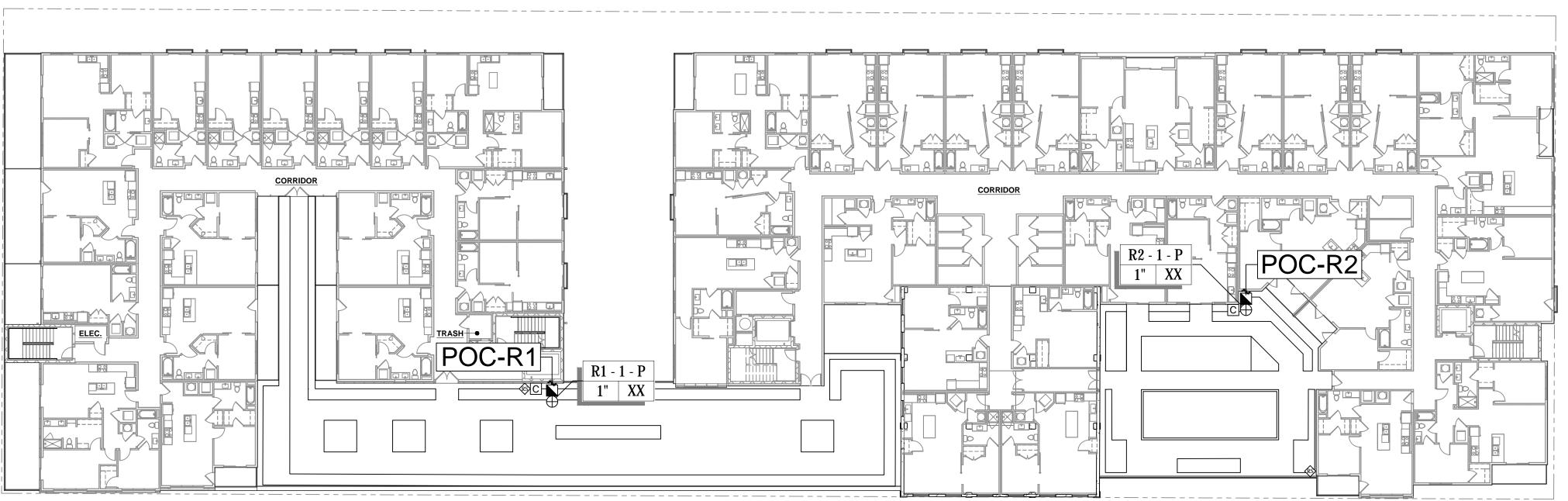
TITLE:

LANDSCAPE SITE PLAN

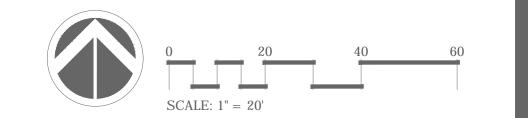
SHEET:

I 1_0





ROOF LEVEL PLAN



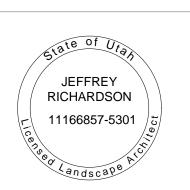
COMMERCIAL

LANDSCAPE ARCHITECTURE // SITE DESIGN

511 W. 200 S. SUITE 125 SLC, UTAH 84101

OFFICE: 801.521.2370

WWW.LANDFORMDESIGNGROUP.COM



ALL RIGHTS RESERVED LANDFORM DESIGN GROUP

Drawings shall not be reproduced by any method; nor may they be used or re-used for any purpose without the express prior written permission of LANDFORM DESIGN GROUP.

This design indicates relationships based on data obtained from other parties and has been interpolated or combined by Landform Design Group to meet the requirements of this project. The subsequent accuracy of this document, while considered reliable, is not warranted or guaranteed.

PROJECT: SLC - CINQ

OWN



TE: 9.24.202

PROJECT: COM-20.10

REVIEWED: JDR

REVISIONS:

TITLE

IRRIGATION

PLAN

SHEET:

L2-01

IRRIGATION SCHEDULE

	ATION S						
SYMBOL	DESCRIPTION	MFR	MODEL NO.		COMMENT		DETAIL
POC-G#	IRRIGATION POINT OF	NA	3/4" Type K Copper Stub (By Others)		Refer to Plumbing Plans		
POC-R#	CONNECTION		(D) Official				
	BACKFLOW PREVENTER	FEBCO	Preventer (825YA) WYE Strainer		In Guardsha Security En		IR2.00/1
	IRRIGATION CONTROLLER	RAINBIRD			Wall mount X valves		
€\$	RAIN SENSOR	RAINBIRD			Wireless Mount on bu	uilding fascia	
X	GATE VALVE	WATTS	Carson 910 Round Valve Box WGV-X Bronze Gate Valve		Size per line	e size	
@	QUICK COUPLER	RAINBIRD	Carson Standard Valve B 1" Quick Coupler (44-LRC				
MD	MANUAL DRAIN VALVE	WATTS	Carson 910 Round Valve WGV-X Bronze Gate Val				
\oplus	VALVE ASSEMBLY DRIP	RAINBIRD	Carson 1220 Jumbo Valv 1" Sch. 80 PVC Ball Valve 1" Drip Zone Control Kit (XCZ-100-PRB-COM)				
•	VALVE ASSEMBLY TURF	RAINBIRD	3/4" Sch. 80 PVC Ball Valve		Pressure Ro Filter to be i upstream of valve	installed	
	TURF ROTARY SPRAY	RAINBIRD	RVAN-14 1806-SAM-P45 8'-14' Hand Adjustable Rotary Stream, w/1800 turf spray body on 6.0" pop-up. With Seal-A-Matic Check valve and 30 psi in-stem pressure regulator		Rotator noz RD06-P30-3 Matched Pr rate @ 0.6"	S body.	
	ROOTZONE BUBBLER	RAINBIRD	RWS-B-C-P-SOCK		Connected to existing tree drip system		
	PVC SLEEVING	NA	Class 160 PVC				
	SERVICE LINE	NA	3/4" Type K Copper				
	PVC MAINLINE	NA	3/4" Class 200 PVC		Unless otherwise noted on plan		
	TURF LATERAL	NA	3/4" Sch 40 PVC		Unless otherwise called out on plan		
TREE SHRUB/ PLANTER	DRIP LATERAL	NA	3/4" Polyethylene Drip Tubing		Unless otherwise called out on plan		
	END CAP	NA	Carson 910 Round Valve Poly Hose End Flush Cap	_			
	VALVE CALLO	OUTS			SCHEDULE		I
¬ POC — Valve / Station					ER RATE # OF EMI		
Numl	ber / Numbe	r	1 GAL PLANTS	0.5 GPH			
_ C / D ::	——————————————————————————————————————	esignation:), S (Shrub),	5 GAL PLANTS	0.5 GPH			
G/R# - X"	$\pi = \Lambda$	ters), G (Turf)	TREES PLANTER	1.0 GPH RB SXB-	XB-180-SPKY PER		H ACTOR
	Valve S	Flow: (GPM) Size					

NOTES
NOTES CHALL BE IDDICATED W/ DAIN DID

1. ALL PLANTERS SHALL BE IRRIGATED W/ RAIN BIRD SXB-180-SPYK, ADJUSTABLE BUBBLER.
2. ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XB BARBED PRESS-ON TYPE SINGLE-PORT PRESSURE COMPENSATING EMITTERS.

3. 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.

4. RAIN BIRD DBC-025 DIFFUSER BUG CAP AND TS-025 STAKE ON ALL 1/4" DISTRIBUTION TUBING.

IRRIGATION POINT OF CONNECTION NOTES

- 1. POINT OF CONNECTION STREET LEVEL: THERE ARE TWO (2) POINTS OF CONNECTION ON THE STREET LEVEL OF THIS PROJECT. PLUMBING CONTRACTOR IS PROVIDING WATER CONNECTION AND WILL PROVIDE A COPPER STUB TO THE EXTERIOR. IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR LOCATION AND CONNECTION
 - A. POC-G1 & POC-G2: LOCATE AND CONNECT TO THE 3/4" TYPE K COPPER STUB (PROVIDED BY OTHERS), LOCATED AT THE EXTERIOR OF THE BUILDING IN APPROXIMATE LOCATION SHOWN, WITH 3/4" TYPE K COPPER PIPE AND EXTEND TO BACKFLOW PREVENTER. INSTALL ONE FEBCO 825YA BACKFLOW PREVENTER IN A GUARDSHACK ENCLOSURE WITH A FROST BLANKET IN LANDSCAPE AREA. EXTEND 3/4" TYPE K COPPER PIPING, INSTALL ONE MANUAL DRAIN VALVE AND TRANSITION TO CL200 PVC. INSTALL ONE GATE VALVE AND EXTEND CL200 PVC TO VALVES AS SHOWN.
- B. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES, OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS ASSOCIATED WITH THIS WORK. FINAL LOCATION OF EXTERIOR CONNECTION AND EQUIPMENT SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- 2. POINT OF CONNECTION ROOF LEVEL: THERE ARE TWO (2) POINTS OF CONNECTION ON THE ROOF LEVEL OF THIS PROJECT. PLUMBING CONTRACTOR IS PROVIDING WATER CONNECTION AND WILL PROVIDE A COPPER STUB TO THE EXTERIOR. IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR LOCATION AND CONNECTION
- A. POC-R1, POC-R2: LOCATE AND CONNECT TO THE 3/4" TYPE K COPPER STUB (PROVIDED BY OTHERS), LOCATED AT THE EXTERIOR OF THE BUILDING IN APPROXIMATE LOCATION SHOWN, WITH 3/4" TYPE K COPPER PIPE AND EXTEND TO BACKFLOW PREVENTER. INSTALL ONE FEBCO 825YA BACKFLOW PREVENTER IN A WALL MOUNT GUADSHACK ENCLOSURE WITH A FROST BLANKET. TRANSITION TO 3/4" CL200 PVC AT DOWNSTREAM SIDE OF BACKFLOW PREVENTER AND INSTALL WALL MOUNTED VALVE(S) AS SHOWN (SEE SHEET XX, DETAIL XX). EXTEND LATERALS TO PLANTERS.
- B. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES, OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS ASSOCIATED WITH THIS WORK. FINAL LOCATION OF EXTERIOR CONNECTION AND EQUIPMENT SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- 3. CONTROLLER LOCATION: THERE ARE FIVE (5) CONTROLLERS ON THIS PROJECT: TWO (2) CONTROLLERS ON THE STREET LEVEL AND THREE (3) ON THE ROOF LEVEL. EACH CONTROLLER WILL BE WALL MOUNTED ON BUILDING IN PROXIMITY TO EACH OF THE POINTS OF CONNECTION AS INDICATED ON THE PLANS. CONNECTION TO 120 VOLT POWER, ALL NECESSARY CONDUIT AND ALL RELATED EQUIPMENT SHALL CONFORM TO LOCAL CODES. REFER TO ELECTRICAL AND ARCHITECTURAL PLANS AND COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR ADDITIONAL INFORMATION REGARDING ELECTRICAL SERVICE AND FINAL LOCATION FOR THE CONTROLLER.
- 4. <u>SENSOR:</u> MOUNT THE RAIN/FREEZE SENSOR FOR EACH CONTROLLER ON THE FASCIA OF THE WALL OF THE BUILDING. SENSOR SHALL BE MOUNTED IN LOCATION IN FULL SUN, OPEN TO RAINFALL AND AWAY FROM HEAT SOURCES. SENSOR SHALL BE LOCATED NO MORE THAN 500' (LINE OF SIGHT) FROM THE CONTROLLER. MOUNT THE RECEIVER ADJACENT TO OR ON THE SIDE OF THE CONTROLLER PRIOR TO SENSOR INSTALLATION. SENSOR SHALL BE SET TO TURN OFF AT 1/4" RAINFALL.
- 5. SYSTEM PRESSURE: THIS SYSTEM HAS BEEN DESIGNED FOR A REQUIRED MINIMUM STATIC PRESSURE OF 30 PSI AND A MAXIMUM SAFE FLOW OF 8 GPM. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE OPERATING PRESSURE IN THE FIELD AT THE POINT OF CONNECTION BEFORE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF DEFICIENT EQUIPMENT, LOW PRESSURE OR LOW FLOW CONDITIONS ARE ENCOUNTERED. IF THE CONTRACTOR FAILS TO NOTIFY OWNER'S REPRESENTATIVE OF SUCH DISCREPANCIES. THEN THE CONTRACTOR

IRRIGATION SLEEVING NOTES

- 1. <u>INSTALLATION OF SLEEVING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.</u> SLEEVES SHALL BE INSTALLED PRIOR TO THE START OF PAVING OPERATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR FOR LOCATION AND SIZING OF SLEEVES PRIOR TO THE START OF WORK.
- 2. THE CONTRACTOR SHALL SLEEVE ALL IRRIGATION DISTRIBUTION LINES, VALVE CONTROL WIRES AND COMMUNICATION WIRES, UNDER ALL PAVED SURFACES, WALL FOOTERS, DRAINAGE CHANNELS, INLETS, CATCH BASINS, ETC.
- 3. ALL SLEEVES SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND EDGE OF ALL OBSTRUCTIONS. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER ANY OBSTRUCTIONS.
- SLEEVING SHALL BE INSTALLED PER THE SIZES AND QUANTITIES SHOWN ON THE PLANS BASED ON THE CHART BELOW. ALL MAINLINE, VALVE CONTROL AND COMMUNICATION WIRES, LATERALS AND 3/4" POLYETHYLENE DRIP TUBING UNDER PAVED SURFACES ARE TO BE INSTALLED IN SEPARATE SLEEVING.

SLEEVED PIP SIZE/WIRE QTY

3/4"-1" PIPING

REQUIRED SLEEVE SIZE AND QTY.

2" PVC (1)

1-50 CONTROL WIRES 2" PVC (1)

IRRIGATION NOTES

- 1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
- 2. THE CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
- 3. THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING OWNER'S REPRESENTATIVE.
- 4. ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL PLAN, ARCHITECTURAL PLANS, ELECTRICAL PLANS, GRADING AND DRAINAGE AND ALL ASSOCIATED PLANS THAT AFFECT THIS WORK PRIOR TO BEGINNING CONSTRUCTION. IF THE CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS TO INSTALL THE IRRIGATION SYSTEM AND IT'S COMPONENTS PER THE MANUFACTURER'S SPECIFICATIONS AS SHOWN ON THESE DOCUMENTS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY AND ALL LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- 7. THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES THROUGH THE COURSE OF HIS WORK. THE CONTRACTOR SHALL PAY FOR ANY/AND ALL REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
- 8. IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN THE PROJECT LIMITS AND WITHIN LANDSCAPE AREAS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHICAL CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO INSURE PROPER LOCATION AND OPERATION OR THE IRRIGATION SYSTEM AND IT'S COMPONENTS.
- 9. PLANT MATERIAL LOCATIONS TAKE PRECEDENIS OVER IRRIGATION LINES. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- 10. IF IRRIGATION SLEEVING IS REQUIRED A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN BANKS OF SLEEVES USED FOR OTHER ON-SITE UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE ADEQUATE VERTICAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED) CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
- 11. ALL VALVE BOXES / LIDS SHALL BE PLASTIC, COLOR TAN, WITH LOCKING COVERS, PER THE CONSTRUCTION DETAILS. UNDER NO CIRCUMSTANCES ARE VALVE BOXES TO BE LOCATED IN THE TURF AREAS. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 1'-0" FROM THE EDGE OF PAVED SURFACES AND 3'-0" FROM THE CENTERLINE OF DRAINAGE SWALES OR RETENTION BASINS.THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO BE FLUSH FINISH GRADE AS PER THE CONSTRUCTION DETAIL.
- 12. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF DRIP IRRIGATION LINES PRIOR TO INSTALLATION OF PLANT MATERIAL WITH THE OWNER'S REPRESENTATIVE.
- 13. LAYOUT EMITTER TUBING PARALLEL TO TOPOGRAPHY WHEREVER POSSIBLE. INSTALL FLUSHABLE TYPE END CAP AT ENDS OF ALL 3/4" PVC DRIP LATERALS AND FLUSH THOROUGHLY BEFORE INSTALLING EMITTERS.
- 14. TREES, SHRUBS, AND GROUNDCOVER SHALL BE IRRIGATED BY PRESSURE REGULATING, SINGLE OUTLET EMITTERS, SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION.
- 15. PLANTERS SHALL BE IRRIGATED BY ADJUSTABLE BUBBLER, SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION. CONTRACTOR TO DETERMINE QUANTITY AND SPACE EVENLY IN PLANTER.
- 16. THE CONTRACTOR SHALL FINE TUNE / ADJUST THE IRRIGATIONS SYSTEM TO AVOID / REDUCE OVER-SPRAY ONTO HARD SURFACES BY ADJUSTING NOZZLE DIRECTION AND NOZZLE RADIUS.
- 17. THE CONTRACTOR SHALL EXTEND THREE SPARE CONTROL WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM THE CONTROLLER TO THE END OF THE MAINLINE OR AS SHOWN ON THE PLANS.
 INSTALL SPARE WIRES IN A 10" ROUND VALVE BOX WITH A QUICK COUPLING VALVE. USE ONLY #14 OR #12 (WHEN NECESSARY) DIRECT BURY COPPER WIRE FOR ALL UNDERGROUND WIRING.
- 18. GROUNDING FOR THE IRRIGATION CONTROLLER IS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT www.asic.org/Design_Guides.aspx. CONTACT THE MANUFACTURER FOR ADDITIONAL TECHNICAL ASSISTANCE.

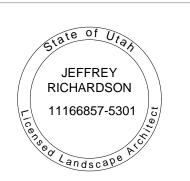


LANDSCAPE ARCHITECTURE // SITE DESIGN

511 W. 200 S. SUITE 125 SLC, UTAH 84101

OFFICE: 801.521.2370

WWW.LANDFORMDESIGNGROUP.COM



ALL RIGHTS RESERVED LANDFORM

DESIGN GROUP

Drawings shall not be reproduced by any method; nor may they be used or re-used for any purpose without the express prior written permission of LANDFORM DESIGN GROUP.

This design indicates relationships based on data obtained from other parties and has been interpolated or combined by Landform Design Group to meet the requirements of this project. The subsequent accuracy of this document, while considered reliable, is not warranted or guaranteed.

SLC - CINQ

OHAITE



DATE: 9.24.2020

PROJECT: COM-20.10

REVIEWED: JDR

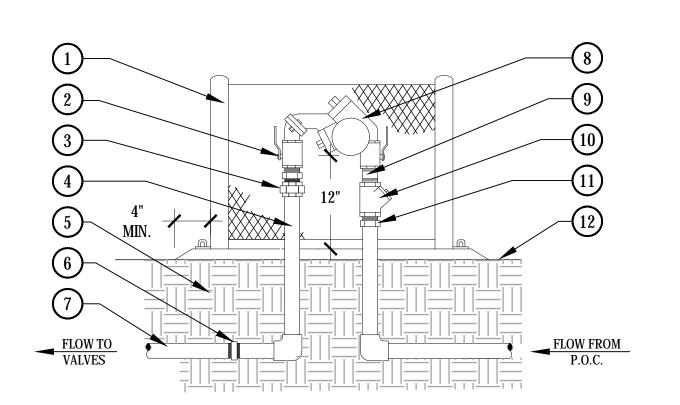
REVISIONS:

TITLE:

IRRIGATION LEGEND & NOTES

SHEET:

2-02



- 1) BACKFLOW ENCLOSURE # GS-1
- 2 BALL VALVE
- 3 BRASS UNION
- 4 TYPE K COPPER PIPE
- 5 COMPACTED SUBGRADE
- 6 PVC ADAPTOR 30" BEYOND UNIT
- 7 PVC MAINLINE
- (8) REDUCED PRESSURE BACKFLOW PREVENTER WITH BALL VALVES
- 9 BRASS NIPPLE
- (10) BRASS WYE STRAINER (100 MESH)
- (11) COPPER ADAPTER
- (12) FINISH GRADE

1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.

- 2. PROVIDE PVC PIPE PROTECTION AROUND COPPER SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB BASE
- 3. BACKFLOW PREVENTION DEVICES SHALL BE PLACED A MINIMUM OF TWO (2') FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
- 4. PROVIDE THRUST BLOCKS FOR LINES 2-1/12" OR LARGER.

BACKFLOW PREVENTER

(1) LIFT-OFF GUARDSHACK **ENCLOSURE**

2 LOCK SHIELD

- (3) HOLES FOR INFLOW AND **OUTFLOW PIPES OF BACKFLOW PREVENTER**
- (4) CONCRETE PAD PAD TO BE 6" LARGER ON ALL SIDES THAN INTERIOR DIMENSIONS OF **GUARDSHACK ENCLOSURE**
- (5) FINISH GRADE

SCALE: NTS

SCALE: NTS

(1) GUARDSHACK CUSTOM WALL

(3) BRONZE BALL VALVE BOTH SIDES

4 Y-STRAINER W/ 80-MESH SCREEN

(6) REDUCED PRESSURE BACKFLOW

(5) 3/4" COPPER SERVICE LINE RE:

PREVENIER 90° OUILET

CONFIGURATION

(7) SXS BRONZE UNION

8 DRIP CONTROL VALVE w/

BATTERY CONTROLLER DC

LATCHING SOLENOID PER

9 PROVIDE PVC SLEEVE AND

ENCLOSURE

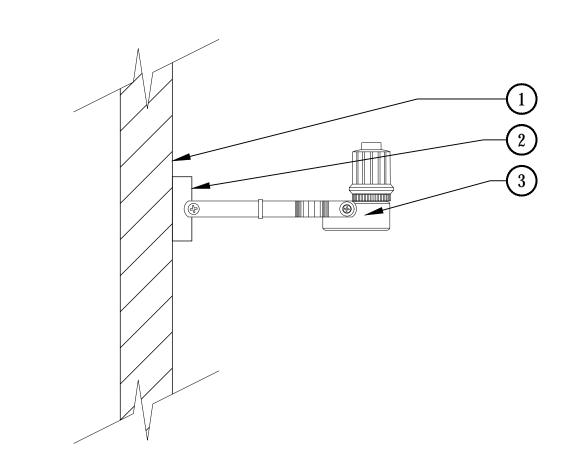
2 BUILDING WALL

PLUMBING

WALL MOUNT IRRIGATION CONTROLLER

MANUFACTURER'S SPECIFICATIONS.

5. PROVIDE LOCK AND KEY FOR ENCLOSURE



1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND

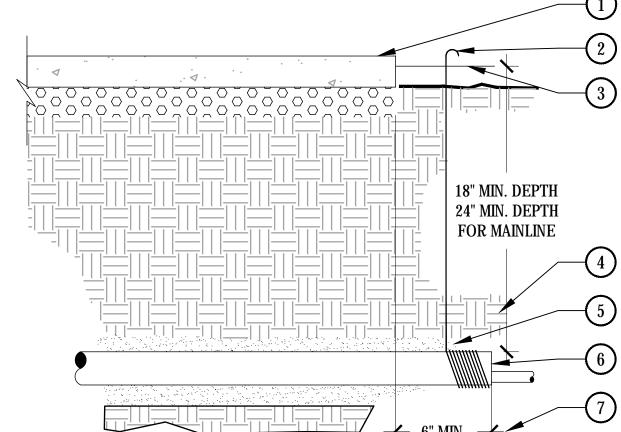
3. GROUND CONTROLLER PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.

4. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.

2. ALL ELECTRICAL MATERIALS SHALL BE U.L. APPROVED FOR USE AS SHOWN.

1. INSTALL SENSOR PER MANUFACTURER'S SPECIFICATIONS. 2. FINAL LOCATION AND MOUNTING SYSTEM TO BE APPROVED BY OWNERS REPRESENTATIVE.

RAIN SENSOR



(10) STRUCTURAL SLAB

SCHEDULE

(11) TYPE K COPPER PIPE TO

PLANTING AREAS. UNDER SLAB PIPING TO BE INSTALLED BY PLUMBING CONTRACTOR.

SCALE: NTS

IRRIGATION SLEEVE

5. MARK / STAMP - 'X' AND/OR INSTALL PLACARD AT BACK OF CURB.

(1) CONTROLLER PER SCHEDULE MOUNT AT EYE-LEVEL W/ CLEARANCE FOR DOOR OPENING, PER MANUFACTURER'S RECOMMENDATIONS

2 DISCONNECT JUNCTION BOX

(3) CONNECT PER LOCAL CODE TO EXISTING POWER SOURCE IN STEEL CONDUIT (BY OTHERS)

4 BUILDING WALL

(5) WIRELESS SENSOR RECEIVER MOUNTED ON THE WALL NEXT TO THE CONTROLLER

6 SENSOR MODULE IS PROVIDED IN CONTROLLER

(7) RIGID STEEL CONDUIT W/ CONTROL WIRES TO VALVES AND **GROUNDING**

8 FINISH GRADE

9 CONDUIT TO EXTEND 5 FT. **BEYOND WALL**

UF DIRECT BURIAL WIRE TO REMOTE CONTROL VALVES.

(1) SUITABLE FASCIA, WALL, OR

2 SECURE TO EXTERIOR WALL.

WITHIN 200' OF THE

CONTROLLER.

(3) WIRELESS RAIN SENSOR, LOCATE

TO RAINFALL.

GUTTER MOUNT. MOUNT IN

LOCATION WHERE SENSOR CAN

RECEIVE FULL SUN AND IS OPEN

SCALE: NTS

IRRIGATION TRENCH

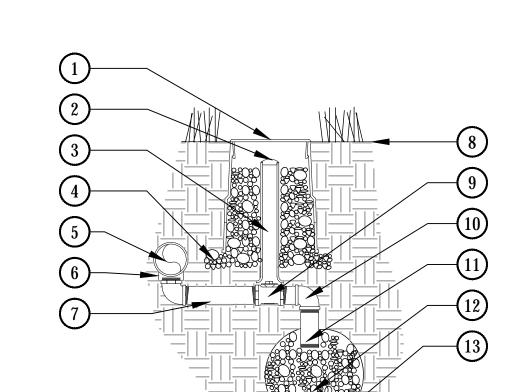
AND 3' ABOVE HIGHEST PIPE OR WEIR WITHIN TRENCH

9. BEDDING IS NOT REQUIRED IN POLYETHYLENE TUBING TRENCHES.

8. BEDDING MATERIAL SHALL BE IN MAINLINE TRENCH ONLY

5. BUNDLE AND TAPE WIRING AT 10' INTERVALS

WATER, BETWEEN LIFTS.



1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER' SPECIFICATIONS.

4. ALL ELECTRICAL WIRE CONNECTIONS TO VALVES AND SPLICES TO BE INSTALLED WITHIN A VALVE BO

7. BEDDING MATERIAL SHALL BE 1/4" MINUS SAND, AND SHALL BE 3" BELOWLOWEST PIPE OR WIRE

10. EXCAVATED COVER MATERIAL SHALL BE FREE FROMDEBRIS AND ROCKS 1/2" OR GREATER.

11. PIPE BEDDING MATERIAL TO BE ROCK AND DEBRIS FREE, BACKFILL IN 6' LIFTS, PUDDLE WITH

2. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN IN PLAN VIEW ABOVE.

AND MADE WITH DBY WATERPROOF CONNECTORS, OR APPROVED EQUAL

6. VALVE WIRES TO BE INSTALLED WITHIN MAINLINE TRENCH WHEREVER POSSIBLE.

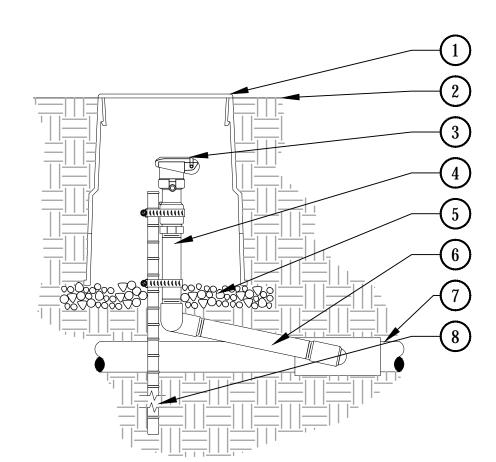
3. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES.

SECTION

1. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.

2. LOCATE DRAIN VALVE AT POINT OF CONNECTION AND AT ALL LOW POINT(S) ALONG THE IRRIGATION MAINLINE AS NEEDED.

MANUAL DRAIN VALVE



1. EACH QUICK COUPLER SHALL BE IN A SEPARATE VALVE BOX

2. PROVIDE (1) QUICK COUPLER KEY FOR EACH QUICK COUPLER VALVE.

3. QUICK COUPLER SHALL HAVE YELLOW LOCKING RUBBER COVER

4. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.

5. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.

1 PVC PIPE IN TRENCH

2 EXCAVATED COVER MATERIAL (SEE NOTES)

3 FINISH GRADE

4 INDICATOR TAPE

⁽⁵⁾ PVC DRIP LATERAL (8" MIN. COVERAGE, 24" MIN. COVERAGE BELOW PEDESTRIAN WALKS.)

6 PVC TURF LATERAL

7 PVC IRRIGATION MAINLINE

8 VALVE WIRING

10" LOCKING ROUND BOX &

(3) 2" CL160 PVC ACCESS SLEEVE

3" DEPTH 3/4" CRUSHED GRAVEL

6 SCH. 80 TEE PER MAINLINE SIZE.

(9) 1" BRONZE STOP VALVE WITH

SLOTTED KEY OPERATOR

- (12) 3/4" GRAVEL SUMP - 1 CU. FT. MIN

(13) SOIL BLANKET ENCLOSING SUMP

6" ROUND BOX & COVER PER

SCHEDULE. TOP OF BOX TO

FLUSH WITH FINISH GRADE

(3) QUICK COUPLING VALVE W/

AMOCO ENG. FABRIC 4545 - 4.5

ALIGN IN A DOWNWARD POSITION

6" BEYOND EDGE OF BOX

LENGTH AS REQUIRED.

5 PVC PRESSURE MAIN LINE

7 SCH. 80 PVC NIPPLE

(8) FINISH GRADE

(10) SCH. 80 PVC ELL

(11) SCH. 80 PVC NIPPLE

OZ. OR EQUAL

(2) FINISH GRADE

GRADE.

2 2" VALVE MARKER

COVER PER SCHEDULE. TOP OF

BOX TO BE FLUSH WITH FINISH

9 BEDDING MATERIAL (SEE NOTES)

SCALE: NTS

JEFFREY RICHARDSON 11166857-5301

LANDSCAPE ARCHITECTURE //

WWW.LANDFORMDESIGNGROUP.COM

11 W. 200 S. SUITE 125

OFFICE: 801.521.2370

SITE DESIGN

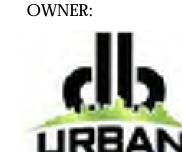
SLC, UTAH 84101

ALL RIGHTS RESERVED LANDFORM DESIGN GROUP

awings shall not be reproduced by any method r may they be used or re-used for any purpos

up to meet the requirements of this project

SIC



9.24.2020

PROJECT: COM-20.10 LOCKING COVER PER SCHEDULE

REVIEWED: JDR

4 SCH. 80 NIPPLE

SCALE: NTS

(5) 3" DEPTH 3/4" GRAVEL BASE EXTEND 6" BEYOND EDGE OF BOX **REVISIONS:**

(6) 1" PVC SWING JOINT

7 PVC MAINLINE

(8) 24" #4 REBAR TO HOLD COUPLER IN PLACE W/ (2) STAINLESS STEEL CLAMPS

TITLE:

IRRIGATION DETAILS

SHEET:

WIRE AROUND EACH END OF SLEEVE (10 WRAPS MIN.) AND

(3) FINISH GRADE / TOP OF DG. (4) COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS ADJACENT

SCALE: NTS

(5) WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL

(2) WRAP 12 GAUGE GALVANIZED

EXTEND TO SURFACE AS A

1 PAVING

TWICE DIAMETER OF THE SUM OF

THE PIPES/ WIRES (7) EXTEND SLEEVES 6" BEYOND

EDGES OF PAVING

FLEXIBLE WATERPROOF SEAL AT **ALL PAVING PENETRATIONS** 1. ALL SLEEVES SHALL BE INSPECTED PRIOR TO BACKFILLING. 2. CAP SLEEVES UNTIL USE. 3. MULTIPLE SLEEVES REQUIRE 4" HORIZONTAL SEPARATION WITHIN SAME SLEEVE TRENCH. 4. IRRIGATION PIPE AND WIRE SHALL NOT SHARE THE SAME SLEEVE.

LOCATING DEVICE.

UNDISTURBED SOIL. CONDITIONS.

(6) PVC SLEEVE PER SCHEDULE.

QUICK COUPLER

SCALE: NTS

SCALE: NTS

L2-03

STANDARD LIFT-OFF **GUARDSHACK INTERNAL DIMENSIONS** GS-.5 | 10"W x 18"H x 12"L

GS-1 | 10"W x 24"H x 22"L

GS-2 | 10"W x 24"H x 30"L

FRONT VIEW

2. PROVIDE PVC PIPE PROTECTION AND FLEXIBLE WATERPROOF SEALANT AROUND SUPPLY

3. ALL BOLTS FOR MOUNTING BRACKETS SHALL BE ZINC PLATED TAMPER PROOF.

BACKFLOW PREVENTER AT ROOF DECKS

4. PRODUCT AVAILABLE FROM GUARDSHACK 3831 E. GROVE ST. PHOENIX, AZ 85040

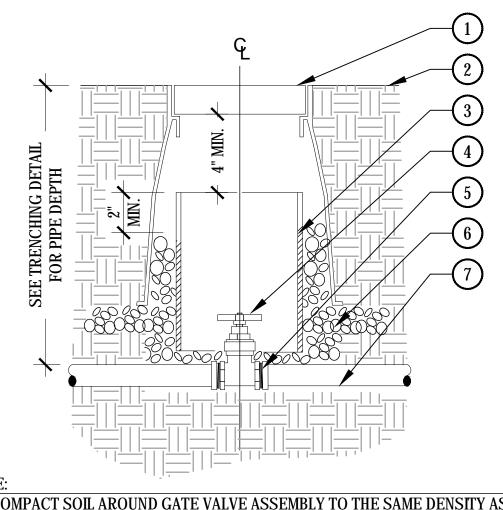
LINES AS THEY GO THROUGH THE CONCRETE SLAB.

PH: (602) 426-1002 EXT. 422 FX: (602) 426-1005

LIFT-OFF GUARDSHACK ENCLOSURE

SIDE VIEW

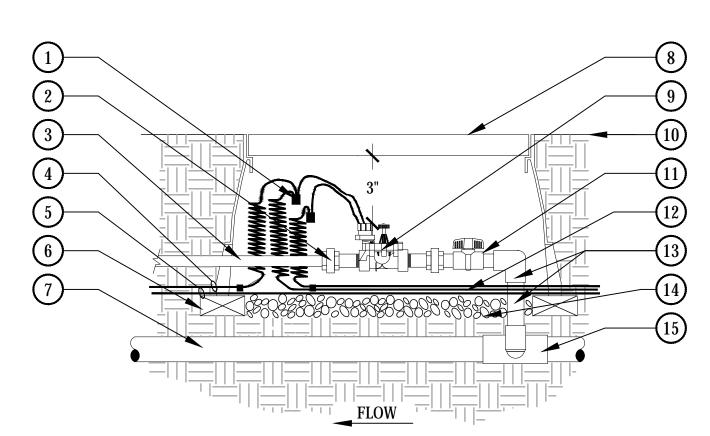
1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.



- 1. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT
- 2. DO NOT REST VALVE BOX OR ACCESS SLEEVES ON MAINLINE OR LATERAL LINE.
- 3. PROVIDE GATE VALVE KEY LENGTH AS REQUIRED.

GATE VALVE

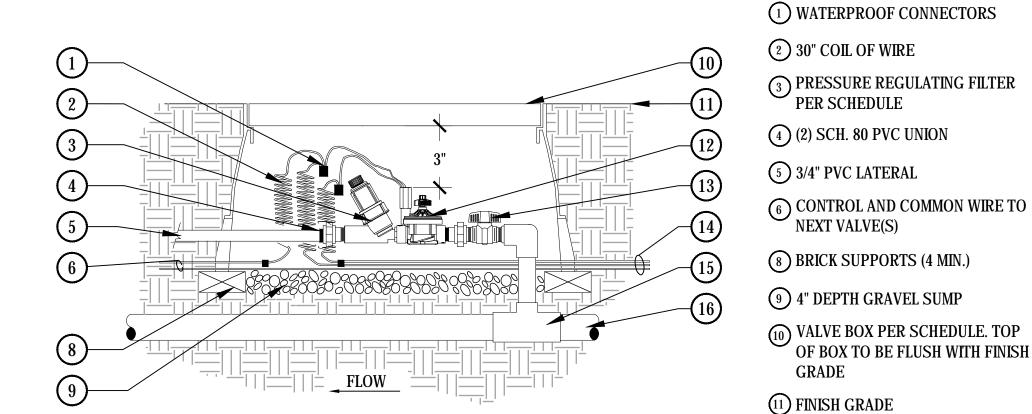
SCALE: NTS



- 1. BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH WATERPROOF SPLICING
- 2. 30" MIN. LENGTH OF CONTROL WIRE COILED AND PLACED IN BOX AT WATERPROOF CONNECTION TO SOLENOID.

DRIP VALVE ASSEMBLY

TURF VALVE ASSEMBLY



- 1. BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH WATERPROOF SPLICING MATERIAL. 2. 30" MIN. LENGTH OF CONTROL WIRE COILED AND PLACED IN BOX AT WATERPROOF
- - CONNECTION TO SOLENOID.
 - 16) PVC MAINLINE

- 1 LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 2 FINISH GRADE
- (3) 2" CL160 PVC ACCESS SLEEVE LENGTH AS REQUIRED.
- (4) GATE VALVE W/ CROSS HANDLE AND SOLID WEDGE DISC PER SCHEDULE
- 5 THREADED MALE ADAPTER
- (6) 3/4" GRAVEL SUMP FILL IN AND AROUND BOX AS REQUIRED. EXTEND 6" BEYOND EDGE OF BOX

1 WATERPROOF CONNECTORS

(2) SCH. 80 PVC UNION SxS

4 COMMON WIRE TO NEXT

5 CONTROL WIRE TO NEXT

6 BRICK SUPPORTS 4 MIN.

8 PLASTIC LOCKING VALVE BOX

PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE

3 PVC LATERAL

VALVE(S)

7 PVC MAINLINE

9 VALVE ASSEMBLY

11) PVC BALL VALVE SxS

(12) WIRES FROM CONTROLLER

(14) 3/4" GRAVEL SUMP. 4" DEPTH

SCALE: NTS

(10) FINISH GRADE

13) SCH. 80 ELL SxS

15 SCH. 80 TEE SxSxS

PER SCHEDULE

NEXT VALVE(S)

GRADE

(15) SCH 80 TEE

OF BOX TO BE FLUSH WITH FINISH

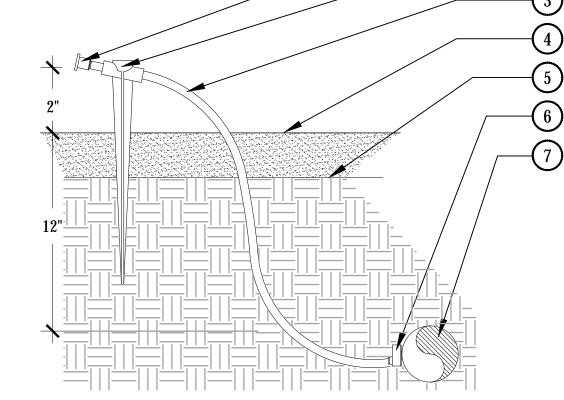
(12) REMOTE CONTROL VALVE PER

CONTROL AND COMMON WIRES FROM CONTROLLER

SCALE: NTS

(13) SCH 80 PVC BALL VALVE

7 PVC MAINLINE AS PER PLAN



SINGLE OUTLET EMITTER

- 1 DBC-25 DIFFUSER CAP
- 2 UNIVERSAL 1/4" TUBING STAKE
- 3 1/4" DISTRIBUTION TUBING: LENGTH NOT TO EXCEED 8'
- 4 TOP OF MULCH
- 5 FINISH GRADE
- 6 PRESSURE COMPENSATING EMITTER PER EMITTER SCHEDULE. LOCATE ON TOP OR SIDE OF DRIP LATERAL

SCALE: NTS

7) 3/4" POLYETHYLENE TUBING DEPTH PER DETAIL

1 EXTERIOR OF BUILDING

W/ DRIP STAKE (TYP.)

4 1/4" DISTRIBUTION TUBING

5 EMITTER PER SCHEDULE

FOUNDATION.

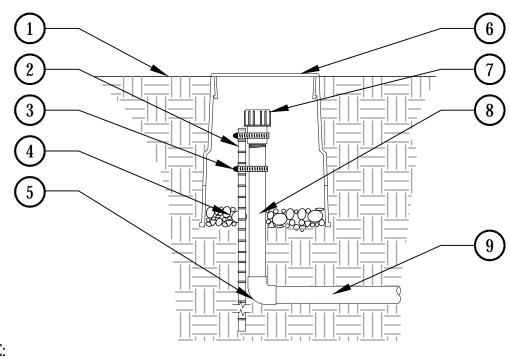
6 DRIP LATERAL - SEE NOTE FOR

PLACEMENT OF PIPE AND

EMITTERS RELATIVE TO BUILDING

(3) FINISH GRADE

2 EMISSION POINT. DIFFUSER CAP



1. DO NOT PLACE 10" LOCKING ROUND BOX ON LATERAL.

- 2. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT
- UNDISTURBED SUBGRADE.
- 3. SECURE STAKE TO FLUSH END CAP OR PVC NIPPLE WITH A MINIMUM OF 2 STAINLESS STEEL
- 4. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.

FLUSH END CAP

1 GRATED CAP

1 FINISH GRADE

2 24" #4 REBAR

5 SCH 80 PVC ELL

(7) HOSE END FLUSH CAP

AS REQUIRED)

9 PVC LATERAL

(3) (2) STAINLESS STEEL CLAMPS

4 3/4" GRAVEL SUMP - 4" DEPTH

6 LOCKING ROUND BOX & COVER

PER SCHEDULE. TOP OF BOX TO

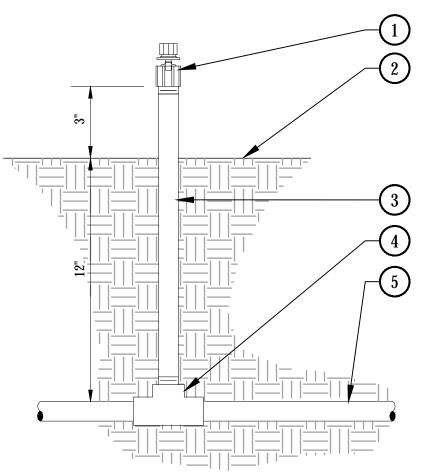
BE FLUSH WITH FINISH GRADE

8 SCH 80 PVC TOE NIPPLE (LENGTH

- 2 ROCK MULCH OR TURF
- 3 FINISH GRADE
- 4 BUBBLER PER SCHEDULE
- 5 CHECK VALVE
- PER SCHEDULE
- 7 PRE-MANUFACTURED SWING JOINT PER MANUFACTURER **SPECIFICATIONS**
- 8 PVC LATERAL
- 9 SCHEDULE 40 PVC TEE

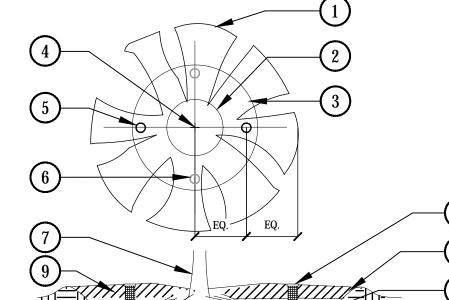
1. ALL IRRIGATION TO BE A MINIMUM OF 6' FROM BUILDING, OR AS DEFINED WITHIN THE GEOTECH REPORT, WHICHEVER IS GREATER.

EMITTER PLACEMENT NEAR BUILDING



- 1. ADJUST SPACING AND FLOW RATE OF BUBBLERS PER THE DENSITY AND TYPE OF PLANT MATERIAL
- 2. BUBBLERS SHALL BE MIN. 6" FROM ANY WALLS, WALKS, COURTS, ETC. 3. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE (3 WRAPS MAXIMUM).
- ADJUSTABLE SHRUB BUBBLER

ROOT ZONE WATERING SYSTEM



PVC LATERAL

DRIP BUBBLER ON ½" FPT X 10-32 THREAD ADAPTER.

3 SCH 80 THREADED NIPPLE.

LENGTH AS REQUIRED

(2) FINISH GRADE

4 SCH 40 TEE

SCALE: NTS

SCALE: NTS

- 1. ALL EMISSION POINTS SHALL BE LOCATED ON UPHILL SIDE OF PLANT MATERIAL. ONE POINT SHALL BE DIRECTLY TO PLANT BALL AS INDICATED. ADDITIONAL EMISSION POINTS SHALL BE WITHIN PLANT PIT PERIMETER AS DIRECTED IN THE EMITTER SCHEDULE
- 2. SECOND EMISSION POINTS (IF NEEDED) AS PER THE EMITTER SCHEDULE FOR TREES WITH 3" CALIPER OR GREATER OR CONIFEROUS TREES 10' OR GREATER IN HEIGHT

TREE ROOT ZONE BUBBLER

6 ROOT ZONE WATERING SYSTEM

SCALE: NTS

- 10 FILTER FABRIC SLEEVE

SCALE: NTS

- 1 TREE CANOPY (DRIPLINE) (2) PLANT ROOT BALL (TYP.)
- (3) PLANT PIT (TYP.)
- 4) PLANT CENTER (TYP.)
- 5 ROOT ZONE WATERING BUBBLER
- 6 ADDITIONAL ROOT ZONE WATERING POINTS
- 7 TREE TRUNK
- (8) ROOT ZONE WATERING SYSTEM
- 9 MULCH LAYER RE: LANDSCAPE
- (10) SWING JOINT W/ 1/2" FPT THREADED POLY ADAPTER
- 11 DRIP LATERAL PER SCHEDULE

TITLE:

SCALE: NTS

DETAILS

SHEET:

L2-04

1 W. 200 S. SUITE 125 SLC, UTAH 84101 OFFICE: 801.521.2370 WWW.LANDFORMDESIGNGROUP.COM

LANDSCAPE ARCHITECTURE //

JEFFREY RICHARDSON 11166857-5301

ALL RIGHTS RESERVED LANDFORM DESIGN GROUP rawings shall not be reproduced by any method; or may they be used or re-used for any purpose

otained from other parties and has been terpolated or combined by Landform Design roup to meet the requirements of this project.

ST



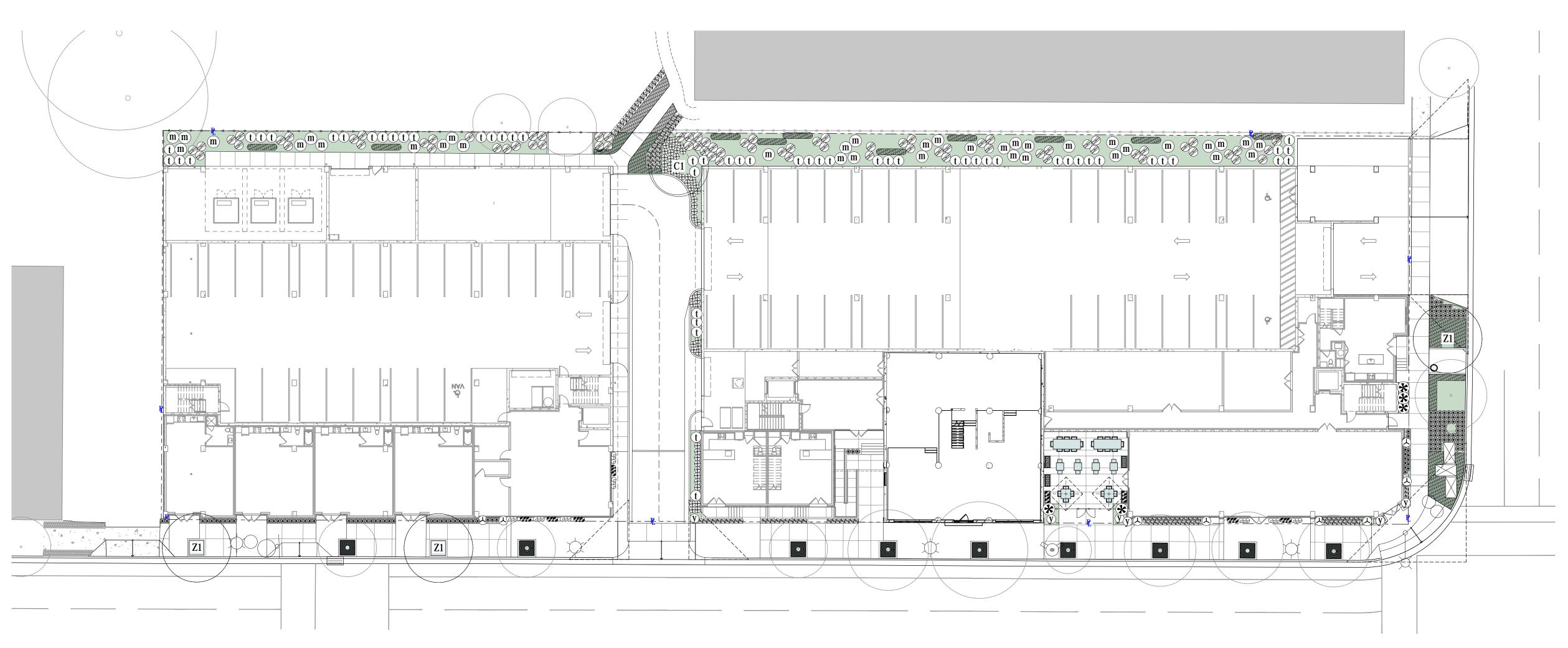
9.24.2020

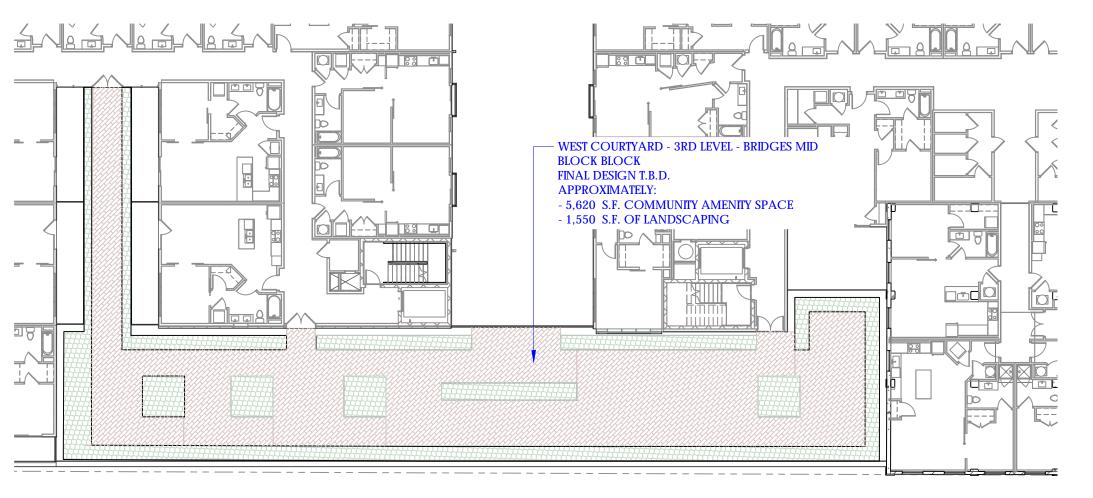
PROJECT: COM-20.10

REVIEWED: JDR

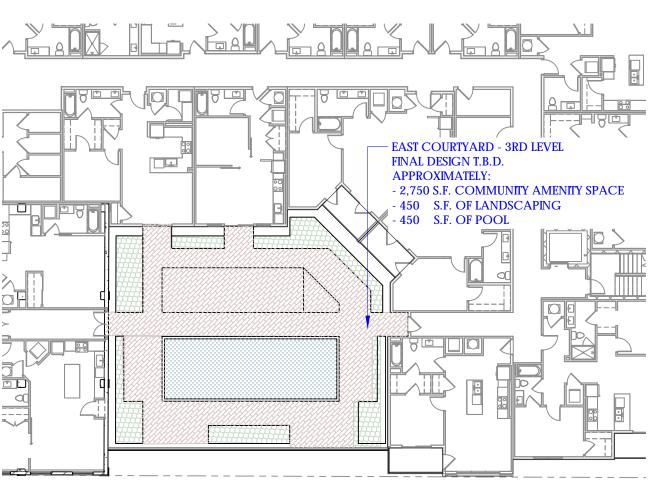
REVISIONS:

IRRIGATION





WEST COURTYARD



EAST COURTYARD

CITY OF SALT LAKE LANDSCAPE CALCULATIONS:

ZONE: GMU TOTAL SITE

STREET LEVEL:

PODIUM LEVEL:

TOTAL TURF AREA:

PROVIDED LANDSCAPING AREAS:

54,238 S.F.

5,370 S.F.

2,000 S.F.

SALT LAKE CITY DROUGHT TOLERANT SHRUBS REQUIRED: 80% PROVIDED: 100%

ROW LANDSCAPE AREAS: 820 S.F. TOTAL LANDSCAPE COVERAGE: 100% (LOW GROWING SHRUBS/GROUNDCOVERS) 200 SOUTH - ALL ROW PLANTING IN TREE GRATES REQUIRED: 80%

WATER WISE PLANTS FOR

NA - 0% OF LANDSCAPE DROUGHT TOLERANT TREES PROVIDED: 100%

PLANTING MATERIALS - CINQ

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HYDROZONE	SPACING	DROUGHT TOLERANT	NOTES
•	NA	EXISTING TREE PROTECTED IN PLACE				TO MANY ANY	
C1	2" CAL.	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	TD2	AS SHOWN	Y	20'x25'
Z 1	2" CAL.	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	TD4	AS SHOWN	Y	40'x25'
SHRUBS, G	ROUNDCOVE	RS, GRASSES					
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HYDROZONE	SPACING	DROUGHT TOLERANT	NOTES (HxW)
(6)	3 GAL.	BOUTELOUA GRACILIS	BLUE GRAMA GRASS	TWO	24"	Y	2'x1'
	FLATS	GALIUM ODORATUM	SWEET WOODRUFF	TW0	8"	Y	.5'x1.5'
•	1 GAL.	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILLY	TD2	18"	Y	1'x2'
900000000	FLATS	DELOSPERMA NUBIGENUM 'YELLOW'	YELLOW ICE PLANT	P1	16"	Y	1'x1'
₩	3 GAL.	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	TW1	16"	Y	1'x1'
y	5 GAL.	YUCCA FILAMENTOSA 'COLORGUARD'	COLOR GUARD YUCCA	SE0	48"	Y	4'x4'
*	5 GAL.	MISCANTHUS SINENSIS	MAIDENHAIR GRASS	TW2	48"	Y	4'x4'
\bigcirc	5 GAL.	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	SE3	42"	Y	3'x5'
Ø	5 GAL.	RHUS AROMATICA 'AUTUMN AMBER'	AUTUMN SUMAC	GV1	42"	Y	1.5'x3'
m	5 GAL.	MAHONIA AQUILFOLIUM COMPACTA	COMPACT ORANGE GRAPI	E SE3	48"	Y	4'x4'
•	3 GAL.	PENNISETUM ALOPECUROIDES 'MOUNDRY	Y' BLACK FOUNTAIN GRASS	TW2	24"	Y	2'x2'
0	1 GAL.	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	MUNSTEAD LAVENDER	P2	18"	Y	1.5'x1.5'
()	3 GAL.	KNIPHORFIA UVARIA	RED HOT POKER	P1	36"	Y	3'x3'

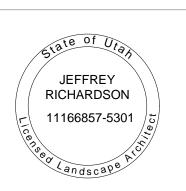
*ADDITIONAL PLANTING CHOSEN FOR ROOF DECK SHALL BE SELECTED FROM SLC WATER WISE PLANT LIST // LANDSCAPE BMP MANUAL

LANDSCAPE ARCHITECTURE //

SITE DESIGN

511 W. 200 S. SUITE 125 SLC, UTAH 84101

OFFICE: 801.521.2370 WWW.LANDFORMDESIGNGROUP.COM



ALL RIGHTS RESERVED LANDFORM DESIGN GROUP

Drawings shall not be reproduced by any method; nor may they be used or re-used for any purpose without the express prior written permission of LANDFORM DESIGN GROUP.

This design indicates relationships based on data obtained from other parties and has been interpolated or combined by Landform Design Group to meet the requirements of this project. The subsequent accuracy of this document, while considered reliable, is not warranted or guaranteed.

PROJECT: SLC



9.24.2020

PROJECT: COM-20.10

REVIEWED: JDR

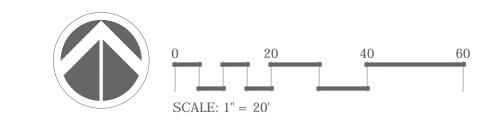
REVISIONS:

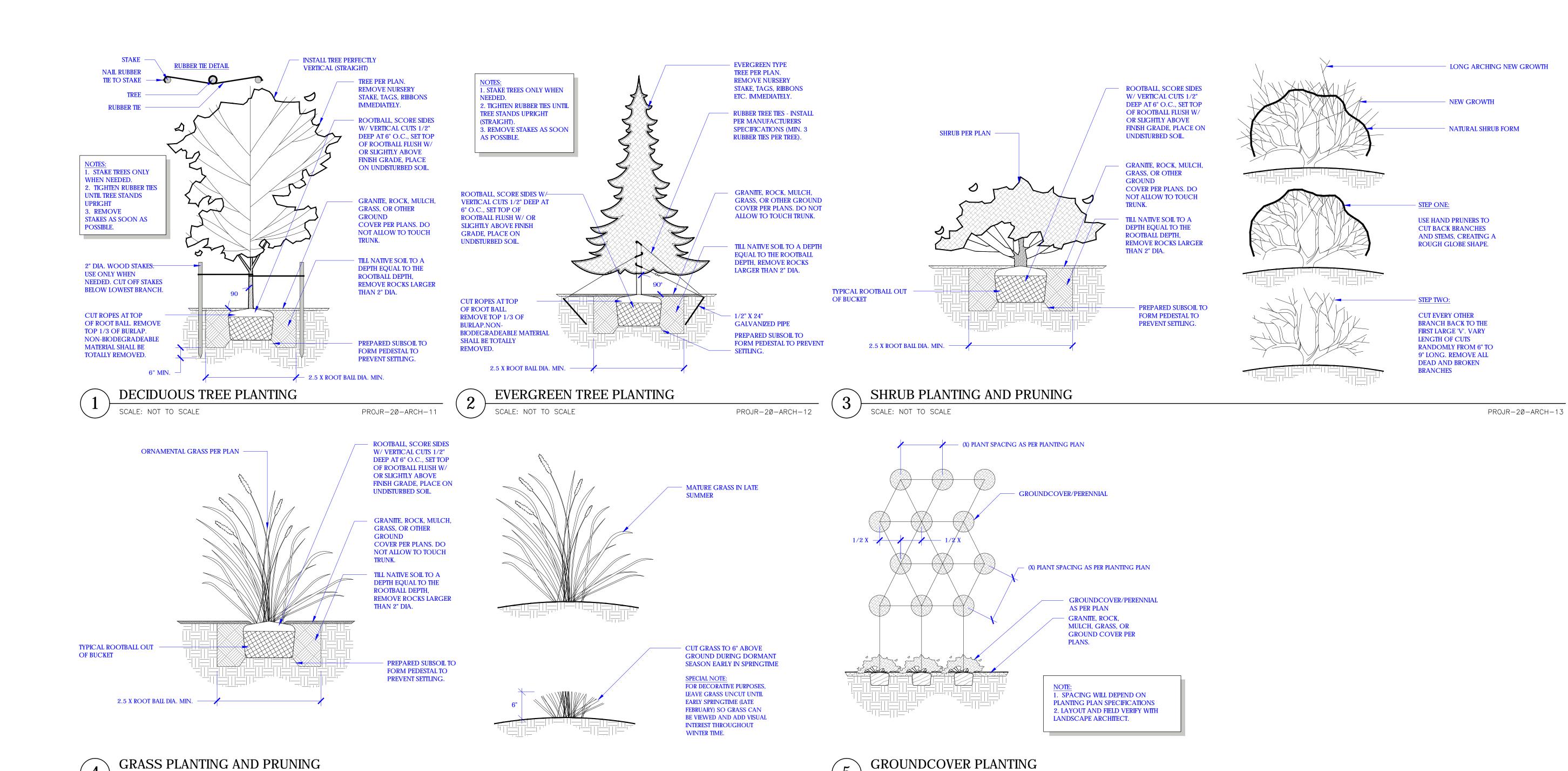
TITLE:

LANDSCAPE **PLAN**

SHEET:

L3-01





PROJR-2Ø-ARCH-16

SCALE: NOT TO SCALE

PROJR-2Ø-ARCH-18

db

SIC

LANDSCAPE ARCHITECTURE //

WWW.LANDFORMDESIGNGROUP.COM

JEFFREY

RICHARDSON

11166857-5301

ALL RIGHTS RESERVED LANDFORM

Drawings shall not be reproduced by any method; nor may they be used or re-used for any purpose without the express prior written permission of LANDFORM DESIGN GROUP.

This design indicates relationships based on data

obtained from other parties and has been interpolated or combined by Landform Design Group to meet the requirements of this project. The subsequent accuracy of this document, while

sidered reliable, is not warranted o

DESIGN GROUP

511 W. 200 S. SUITE 125

OFFICE: 801.521.2370

SLC, UTAH 84101

SITE DESIGN

URBAN

DATE: 9.24.2020
PROJECT: COM-20.10

REVIEWED: JDR

REVISIONS:

TITLE:

LANDSCAPE PLANTING DETAILS

SHEET:

L3-02