

CINQ

530 WEST 200 SOUTH
SALT LAKE CITY, UTAH 84101

db URBAN COMMUNITIES

DESIGN REVIEW PACKAGE

ISSUE	DATE	DESCRIPTION	NO.
	2023-09-25	DESIGN REVIEW PACKAGE	X

REVISION	DATE	DESCRIPTION	BY

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PROJECT NAME:
COVER SHEET

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY: Author
CHECKED BY: MO

CS-01

TEAM MEMBERS

OWNER
db URBAN COMMUNITIES
211 EAST BROADWAY, STE 218
SALT LAKE CITY, UT 84111
(801) 828-0068

ARCHITECT
JASON R. SHEPARD
DWELL DESIGN STUDIO, LLC
3655 BROOKSIDE PARKWAY, SUITE 150
ALPHARETTA, GA 30022
(770) 864-1035

CIVIL
CIR ENGINEERING, LLC
3032 SOUTH 1030 WEST, SUITE 202
SALT LAKE CITY, UT 84119
(801) 949-6296

MECHANICAL
TO BE DETERMINED

ELECTRICAL
TO BE DETERMINED

PLUMBING
TO BE DETERMINED

STRUCTURAL
PRECISION SYSTEMS ENGINEERING
9805 SOUTH 500 WEST
SANDY, UT 84070
(801) 943-5555

LANDSCAPE/HARDSCAPE DESIGN
LANDFORM DESIGN GROUP
511 WEST 200 SOUTH, SUITE 125
SALT LAKE CITY, UT 84101
(801) 521-2370

INTERIOR DESIGNER
TO BE DETERMINED

PROJECT INFORMATION

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE CODES OR STATUS WHETHER OR NOT SPECIFICALLY REFERENCED IN THE CONSTRUCTION DOCUMENTS

- 2018 INTERNATIONAL BUILDING CODE (IBC), INCLUDING APPENDIX J, ISSUED BY THE INTERNATIONAL CODE COUNCIL (ICC)
- 2018 INTERNATIONAL PLUMBING CODE (IPC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2017 NATIONAL ELECTRICAL CODE (NEC), ISSUED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

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PROJECT RENDERING



VICINITY MAP





360 WEST 300 SOUTH
SUITE 102
SALT LAKE CITY, UT 84101
PHONE: 385.273.3888
dwelldesignstudio.com

CINQ
530 WEST 200 SOUTH
SALT LAKE CITY, UTAH 84101

A DEVELOPMENT FOR
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COMMUNITIES

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NO SCALE

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JOB NUMBER: 2032701

CS-02

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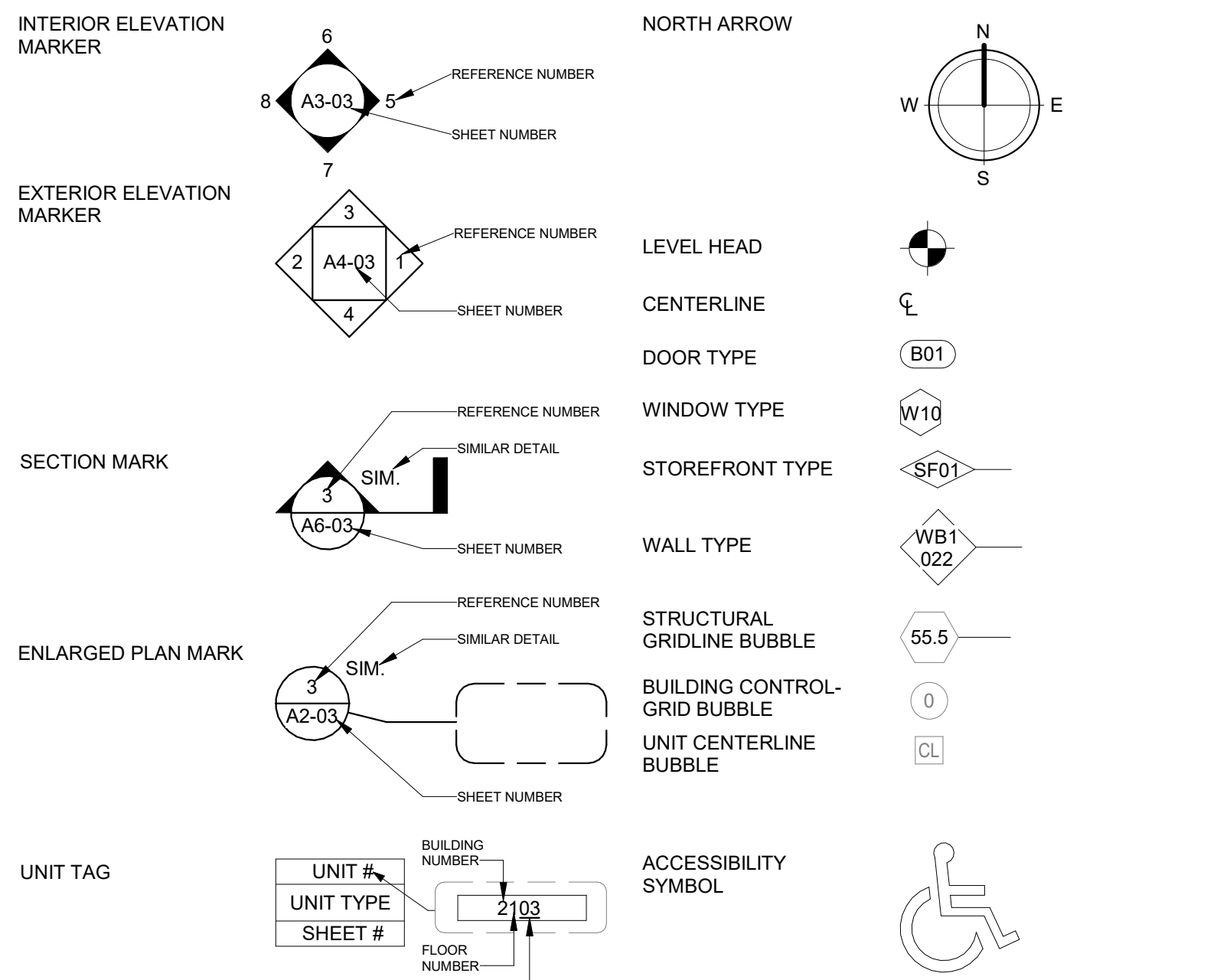
DESIGN REVIEW PACKAGE

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CS-02	SHEET INDEX	X
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CD-03	AVERAGE GRADE PLANE CALCULATION	
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A1-00B	PARTIAL BUILDING PLAN - BASEMENT LEVEL - BLDG 2000	
A1-00B.1	PARTIAL SLAB EDGE PLAN - BASEMENT LEVEL - BLDG 2000	
A1-00B.2	PARTIAL BUILDING RCP - BASEMENT LEVEL - BLDG 2000	
A1-01A	PARTIAL BUILDING PLAN - LEVEL 1 - BLDG 1000	
A1-01A.1	PARTIAL SLAB EDGE PLAN - LEVEL 1 - BLDG 1000	
A1-01A.2	PARTIAL BUILDING RCP - LEVEL 1 - BLDG 1000	
A1-01B	PARTIAL BUILDING PLAN - LEVEL 1 - BLDG 2000	
A1-01B.1	PARTIAL SLAB EDGE PLAN - BLDG 2000	
A1-01B.2	PARTIAL BUILDING RCP - LEVEL 1 - BLDG 2000	
A1-02A	PARTIAL BUILDING PLAN - LEVEL 2 - BLDG 1000	
A1-02A.1	PARTIAL SLAB EDGE PLAN - LEVEL 2 - BLDG 1000	
A1-02A.2	PARTIAL BUILDING RCP - LEVEL 2 - BLDG 1000	
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A1-02B.1	PARTIAL SLAB EDGE PLAN - LEVEL 2 - BLDG 2000	
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A1-03A.2	PARTIAL BUILDING RCP - LEVEL 3 - BLDG 1000	
A1-03B	PARTIAL BUILDING PLAN - LEVEL 3 - BLDG 2000	
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A1-04A.2	PARTIAL BUILDING PLAN - LEVEL 4 - BLDG 1000	
A1-04B	PARTIAL BUILDING PLAN - LEVEL 4 - BLDG 2000	
A1-04B.1	PARTIAL BUILDING RCP - LEVEL 4 - BLDG 2000	
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A1-05A.1	PARTIAL BUILDING RCP - LEVEL 5 - BLDG 1000	
A1-05A.2	PARTIAL BUILDING PLAN - LEVEL 5 - BLDG 1000	
A1-05B	PARTIAL BUILDING PLAN - LEVEL 5 - BLDG 2000	
A1-05B.1	PARTIAL BUILDING RCP - LEVEL 5 - BLDG 2000	
A1-05B.2	PARTIAL BUILDING PLAN - LEVEL 5 - BLDG 2000	
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A1-07A.2	PARTIAL BUILDING PLAN - LEVEL 7 - BLDG 1000	
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A4-12	PARTIAL BUILDING ELEVATIONS - BLDG 2000	
A4-13	PARTIAL BUILDING ELEVATIONS - BLDG 2000	X
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A5-01	OVERALL BUILDING SECTIONS	X
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A5-12	TYPICAL WALL SECTIONS	
A5-20	ENLARGED ELEVATIONS AND SECTIONS - BLDG 1000	
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A7-10	DOOR SCHEDULE	
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A7-20	STOREFRONT SCHEDULE	

ABBREVIATIONS

Table of abbreviations and their corresponding full names, organized in columns. Includes terms like ANCHOR BOLT, ABOVE, ACUSTICAL TILE, ADHESIVE, ADJUSTABLE, etc.

SYMBOLS



OWNER

- 1. THE OWNER SHALL OBTAIN AND PAY FOR THE GENERAL BUILDING PERMITS AND IMPACT FEES. THESE PERMITS SHALL BE PROVIDED TO THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. THE OWNER SHALL APPROVE ALL MATERIAL FINISH AND COLOR SELECTIONS, VIA CONTRACTOR SUBMITTED SHOP DRAWINGS, PRIOR TO ORDERING AND INSTALLATION FOR ANY EQUIPMENT.
3. THE OWNER SHALL COORDINATE AND SECURE AN AGREEMENT FOR ACCESS TO SITE CONSTRUCTION, STAGING AREA, AND STORAGE AREAS.

CONTRACTOR

- 1. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER, IN WRITING, AND SHALL HAVE RESOLVED AND DOCUMENTED IN WRITING, PRIOR TO CONTINUING WITH THE WORK IN QUESTION IF THERE ARE:
A. ANY ERRORS, OMISSIONS, DISCREPANCIES, CONFLICTS, OR INCONSISTENCIES ON THESE CONTRACT DOCUMENTS.
B. ANY VARIATION OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS.

STRUCTURAL / FRAMING

- 1. DIMENSIONS:
A. ALL DIMENSIONS ON PLANS ARE TO FACE OF STRUCTURE/STUD UNLESS OTHERWISE NOTED.
B. ALL ANGLED WALLS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
C. DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR OF ROOM, FROM ADJACENT WALL CORNER, TYPICAL IF CLEARANCE ALLOWS.

MECHANICAL, ELECTRICAL, AND PLUMBING

- 1. ALL PLUMBING CHASES ARE TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.
2. WHERE ELECTRICAL, MECHANICAL, AND/OR OTHER WALL MOUNTED DEVICES OCCUR AT THE SAME LOCATION BUT DIFFERENT HEIGHTS, THEY SHALL BE CENTERED ABOVE EACH OTHER.
3. WATER SERVICE SHALL NOT BE PLACED IN CONCEALED SPACES OUTSIDE OF THE CONDITIONED BUILDING ENVELOPE (BREEZEWAY OR PATIO FLOOR SPACES OR ATTICS).

CODE

- 1. THE CONTRACTOR SHALL MEET:
A. ALL REQUIREMENTS OF THE BUILDING CODE AND FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND REQUIREMENTS, EVEN IF IT REQUIRES LABOR AND/OR MATERIALS NOT INDICATED ON PLANS.
B. ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.

SITE

- 1. ALL SITEWORK AND LANDSCAPING SHALL BE ESTABLISHED AND DESIGNED BY OTHERS (THAN THE ARCHITECT).
2. PROJECT SITE, BUILDINGS AND UNITS SHALL MEET OR EXCEED THE FAIR HOUSING ACCESSIBILITY GUIDELINES AS PUBLISHED IN THE FEDERAL REGISTER VOLUME 56, NUMBER 44, ON MARCH 6, 1991. THE FOLLOWING ARE ADDRESSED IN MEETING THE GUIDELINES:
A. ACCESSIBLE ENTRANCES/ ACCESSIBLE ROUTES.



360 WEST 300 SOUTH SUITE 102 SALT LAKE CITY, UT 84101 PHONE: 385.271.3888 dwelldesignstudio.com



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Table with columns: ISSUE, DATE, DESCRIPTION, REVIEWED BY. Row 1: 2020-09-25, DESIGN REVIEW PACKAGE, X.

Table with columns: REVISION, DATE, DESCRIPTION, REV. Row 1: 01, 09/25/20, 01, 01.

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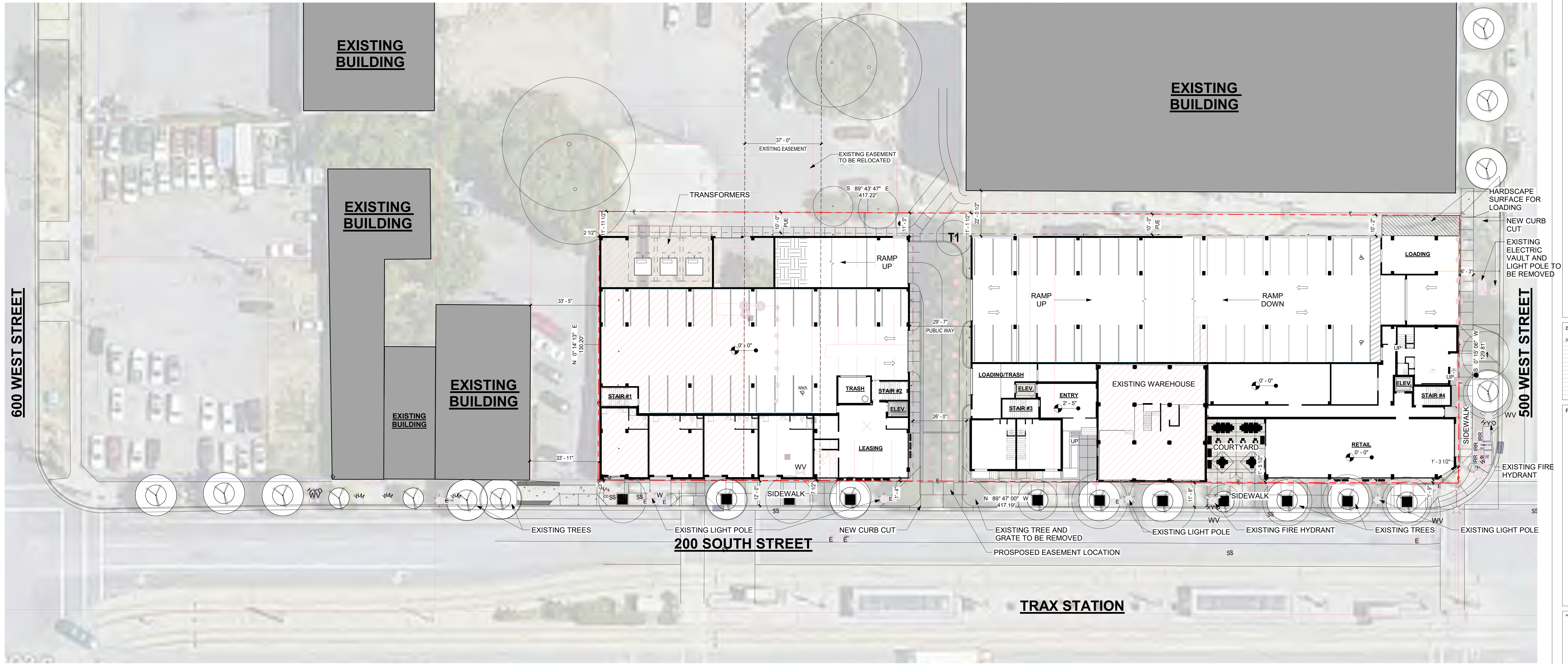
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DESIGN REVIEW PACKAGE

GENERAL NOTES section containing 11 numbered items regarding site work, accessibility, and material specifications.

GN-01



1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

0' 15'-0" 30'-0" 60'-0"

ISSUE	DATE	DESCRIPTION	REVISION
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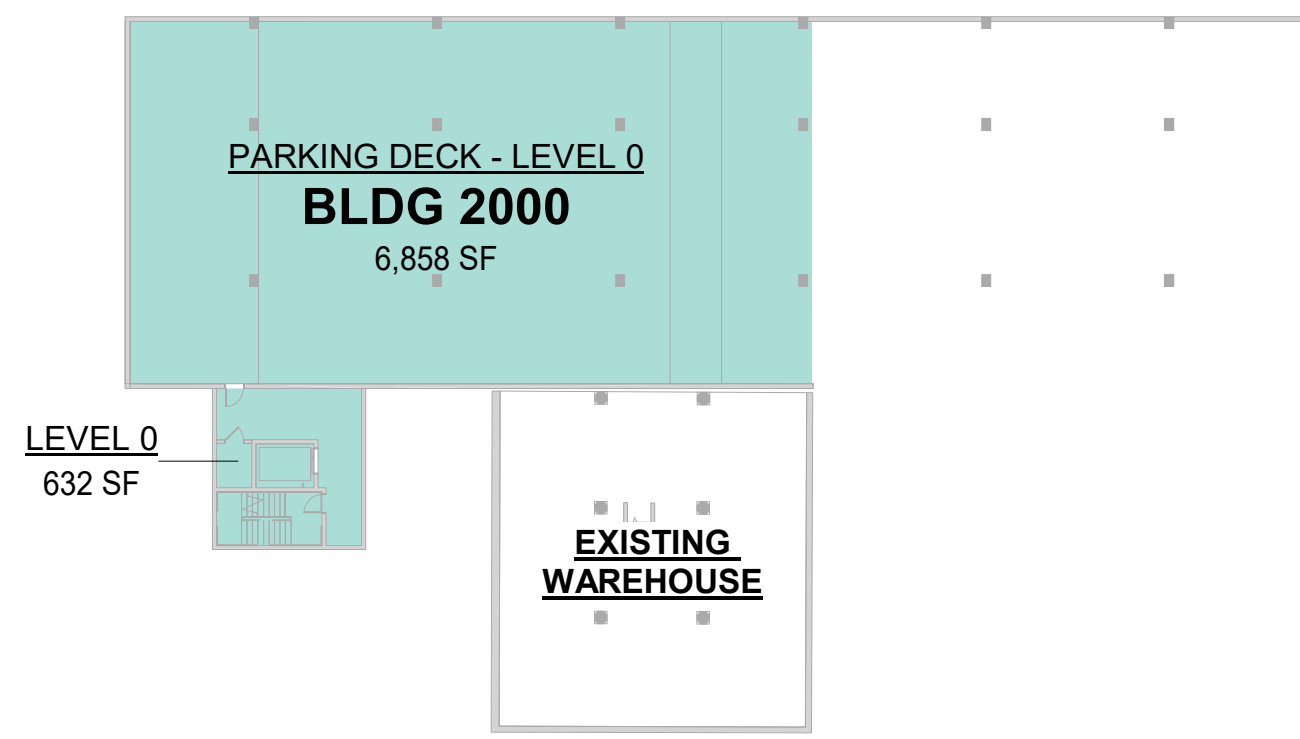
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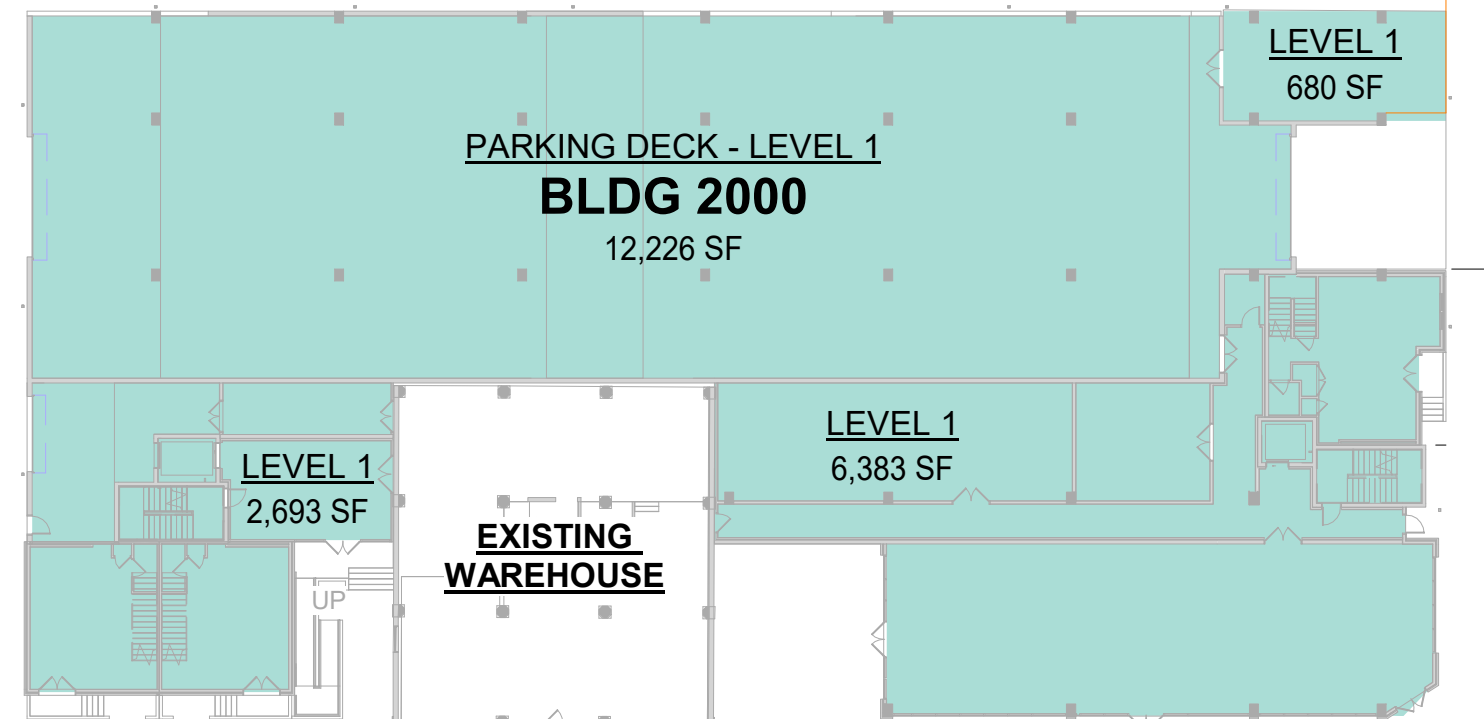
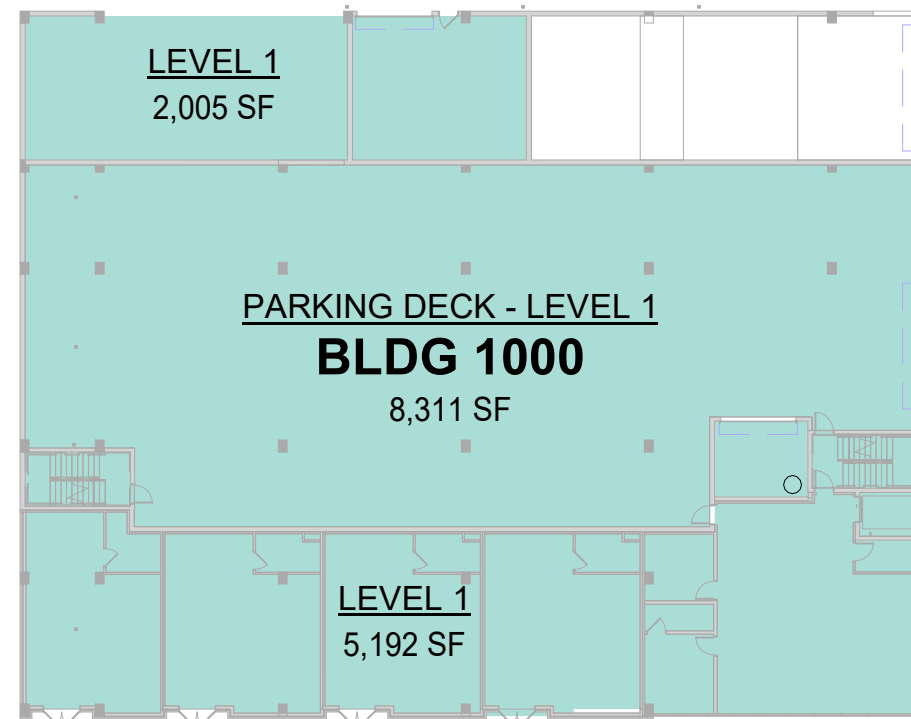
ARCHITECTURAL SITE PLAN
DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701
DRAWN BY: EH
CHECKED BY: MO

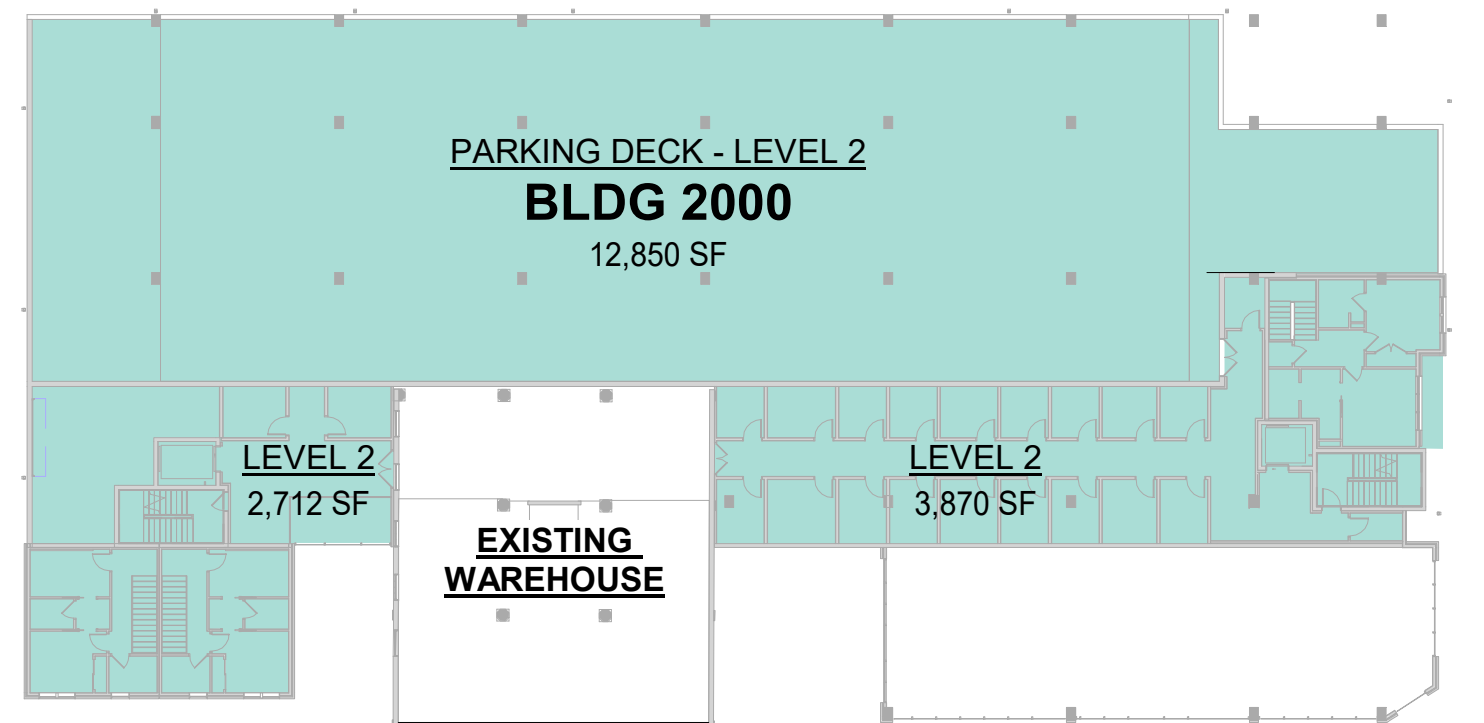
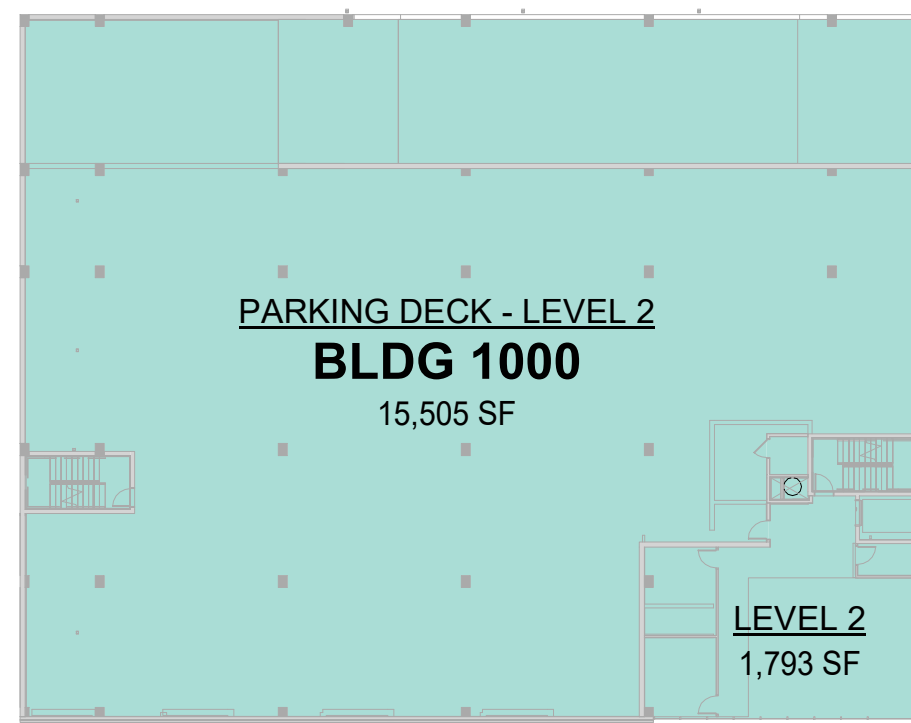
SP-01



1 GROSS AREA PLAN - LEVEL 0
1/32" = 1'-0"



2 GROSS AREA PLAN - LEVEL 1
1/32" = 1'-0"



3 GROSS AREA PLAN - LEVEL 2
1/32" = 1'-0"

BUILDING CODE DATA

BUILDING IDENTIFICATION :	2000	
BUILDING OCCUPANCY CLASSIFICATION :	S-2	
AREA ALLOWED (PER 506.2.3):	UNLIMITED SQ.FT.	
SQ.FT. INCREASE ALLOWED BY AREA MODIFICATIONS (PER 506)		
AREA ALLOWED PER FLOOR (PER 506.2) :	UNLIMITED SQ.FT.	
AREA PROVIDED	SEE GROSS AREA TABLES BELOW	
TYPE OF CONSTRUCTION :	IA	
BUILDING HEIGHT ALLOWANCE (PER 504.3):	UNLIMITED	
BUILDING HEIGHT PROVIDED :	76' - 0"	
NUMBER OF STORIES ALLOWED (PER 504.4):	UNLIMITED	
NUMBER OF STORIES PROVIDED :	2	
FIRE RATING :	WALLS AND PARTITIONS	OPENING PROTECTION
FIRE WALLS (PER 706.4):	3 HOUR	3 HOUR
SHAFT ENCLOSURES GREATER THAN 4 STORIES (PER 713.4):	2 HOUR	1 1/2 HOUR
MIXED OCCUPANCY SEPARATION (PER 508.4):	VARIES - SEE PLANS	
INTERIOR BEARING WALLS (PER 601):	1 HOUR	-
INTERIOR NON-BEARING WALLS (PER 601):	0 HOUR	-
EXT. BEARING WALLS (PER 601):	2 HOUR	3/4 HOUR
EXT. BEARING WALLS: GREATER THAN 30' SEPARATION (PER 602):	1 HOUR	-
EXT. BEARING WALLS: LESS THAN 30' SEPARATION (PER 602):	1 HOUR	3/4 HOUR
CORRIDOR WALLS (PER 1020.1):	1/2 HOUR	1/3 HOUR
ELEVATOR SHAFT WALLS (PER 713.4):	2 HOUR	1 1/2 HOUR
REFUSE CHUTE SHAFT WALLS AND TERMINATION ROOM (PER 713.13):	2 HOUR	1 1/2 HOUR
REFUSE ACCESS AND ROOMS (PER 713.13):	1 HOUR	3/4 HOUR
FLOOR / CEILING CONSTRUCTION (PER 601):	1 HOUR	-
ROOF CEILING CONSTRUCTION (PER 601):	1 HOUR	-
PRIMARY STRUCTURAL FRAME (PER 601):	1 HOUR	-
STAIRS :		
STAIR WIDTH (PER 1009.1):	MIN. REQUIRED: 44"	MIN. PROVIDED 44"
ELEVATOR LOBBIES		
REQUIRED (PER 708.14.1 EXCEPTION 4):	YES	
FLOOR LOCATIONS:	LEVELS 0, 1 AND 2	
FIRE PROTECTION SYSTEM		
SPRINKLER SYSTEM PROVIDED (PER 903.3.1.1):	NFPA 13	
STANDPIPES REQUIRED (PER 905):	YES, WET SYSTEM AT STAIRWAYS	
FIRE EXTINGUISHERS (PER 906):	PROVIDED 75' MAX TRAVEL DIST./COMMON CORRIDOR/RESIDENTIAL UNITS	
EXITS REQUIRED		
BUILDING EXITS (PER 1006.3.2):	PER FLOOR: PER FLOOR: 2 MINIMUM WITHIN ALLOWED TRAVEL DISTANCE	
HORIZONTAL EXITS (PER 1026):	SEE PLANS FOR LOCATION	
TRAVEL DISTANCE (PER 1017.2):	400 FEET ALLOWED	
DEAD END CORRIDOR (PER 1020.4 EXCEPTION 2):	50 FEET ALLOWED ALLOWED	SEE PLANS FOR PROVIDED
UNITS OF EGRESS (PER 1005.1):	CORRIDOR WIDTH = .20 PER OCCUPANT	STAIR WIDTH = .30 PER OCCUPANT
ROOF ACCESS		
ROOF ACCESS PROVIDED:	NOT APPLICABLE	
ATTIC VENTILATION		
ATTIC VENTILATION REQUIRED (PER 1202.2):	NOT APPLICABLE	
ATTIC VENTILATION TYPE:	NOT APPLICABLE	

TOTAL GROSS - BUILDING 2000	
BLDG NUMBER	AREA
LEVEL 0	
2000	7,490 SF
LEVEL 1	
2000	21,982 SF
LEVEL 2	
2000	19,432 SF
GRAND TOTAL	48,904 SF

BUILDING CODE DATA

BUILDING IDENTIFICATION :	1000	
BUILDING OCCUPANCY CLASSIFICATION :	S-2	
AREA ALLOWED (PER 506.2.3):	UNLIMITED SQ.FT.	
SQ.FT. INCREASE ALLOWED BY AREA MODIFICATIONS (PER 506)		
AREA ALLOWED PER FLOOR (PER 506.2) :	UNLIMITED SQ.FT.	
AREA PROVIDED	SEE GROSS AREA TABLES BELOW	
TYPE OF CONSTRUCTION :	IA	
BUILDING HEIGHT ALLOWANCE (PER 504.3):	UNLIMITED	
BUILDING HEIGHT PROVIDED :	76' - 0"	
NUMBER OF STORIES ALLOWED (PER 504.4):	UNLIMITED	
NUMBER OF STORIES PROVIDED :	2	
FIRE RATING :	WALLS AND PARTITIONS	OPENING PROTECTION
FIRE WALLS (PER 706.4):	3 HOUR	3 HOUR
SHAFT ENCLOSURES GREATER THAN 4 STORIES (PER 713.4):	2 HOUR	1 1/2 HOUR
MIXED OCCUPANCY SEPARATION (PER 508.4):	VARIES - SEE PLANS	
INTERIOR BEARING WALLS (PER 601):	1 HOUR	-
INTERIOR NON-BEARING WALLS (PER 601):	0 HOUR	-
EXT. BEARING WALLS (PER 601):	2 HOUR	3/4 HOUR
EXT. BEARING WALLS: GREATER THAN 30' SEPARATION (PER 602):	0 HOUR	-
EXT. BEARING WALLS: LESS THAN 30' SEPARATION (PER 602):	1 HOUR	3/4 HOUR
CORRIDOR WALLS (PER 1020.1):	1/2 HOUR	1/3 HOUR
ELEVATOR SHAFT WALLS (PER 713.4):	2 HOUR	1 1/2 HOUR
REFUSE CHUTE SHAFT WALLS AND TERMINATION ROOM (PER 713.13):	2 HOUR	1 1/2 HOUR
REFUSE ACCESS AND ROOMS (PER 713.13):	1 HOUR	3/4 HOUR
FLOOR / CEILING CONSTRUCTION (PER 601):	1 HOUR	-
ROOF CEILING CONSTRUCTION (PER 601):	1 HOUR	-
PRIMARY STRUCTURAL FRAME (PER 601):	1 HOUR	-
STAIRS :		
STAIR WIDTH (PER 1009.1):	MIN. REQUIRED: 44"	MIN. PROVIDED 48"
ELEVATOR LOBBIES		
REQUIRED (PER 708.14.1 EXCEPTION 4):	YES	
FLOOR LOCATIONS:	LEVELS 1 AND 2	
FIRE PROTECTION SYSTEM		
SPRINKLER SYSTEM PROVIDED (PER 903.3.1.1):	NFPA 13	
STANDPIPES REQUIRED (PER 905):	YES, WET SYSTEM AT STAIRWAYS	
FIRE EXTINGUISHERS (PER 906):	PROVIDED 75' MAX TRAVEL DIST./COMMON CORRIDOR/RESIDENTIAL UNITS	
EXITS REQUIRED		
BUILDING EXITS (PER 1006.3.2):	PER FLOOR: PER FLOOR: 2 MINIMUM WITHIN ALLOWED TRAVEL DISTANCE	
HORIZONTAL EXITS (PER 1026):	SEE PLANS FOR LOCATION	
TRAVEL DISTANCE (PER 1017.2):	400 FEET ALLOWED	
DEAD END CORRIDOR (PER 1020.4 EXCEPTION 2):	50 FEET ALLOWED ALLOWED	SEE PLANS FOR PROVIDED
UNITS OF EGRESS (PER 1005.1):	CORRIDOR WIDTH = .20 PER OCCUPANT	STAIR WIDTH = .30 PER OCCUPANT
ROOF ACCESS		
ROOF ACCESS PROVIDED:	NOT APPLICABLE	
ATTIC VENTILATION		
ATTIC VENTILATION REQUIRED (PER 1202.2):	NOT APPLICABLE	
ATTIC VENTILATION TYPE:	NOT APPLICABLE	

TOTAL GROSS - BUILDING 1000	
BLDG NUMBER	AREA
LEVEL 1	
1000	15,508 SF
LEVEL 2	
1000	17,298 SF
GRAND TOTAL	32,806 SF

dwell design studio
360 WEST 300 SOUTH SUITE 102 SALT LAKE CITY, UT 84101 PHONE: 385.273.3888 dwelldesignstudio.com

CINQ
530 WEST 200 SOUTH SALT LAKE CITY, UTAH 84101

A DEVELOPMENT FOR
db URBAN COMMUNITIES

ISSUE DATE	DESCRIPTION	APPROVED BY
2023-09-25	DESIGN REVIEW PACKAGE	X

REVISION DATE	DESCRIPTION	REV
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BUILDING CODE DATA
DESIGN REVIEW PACKAGE

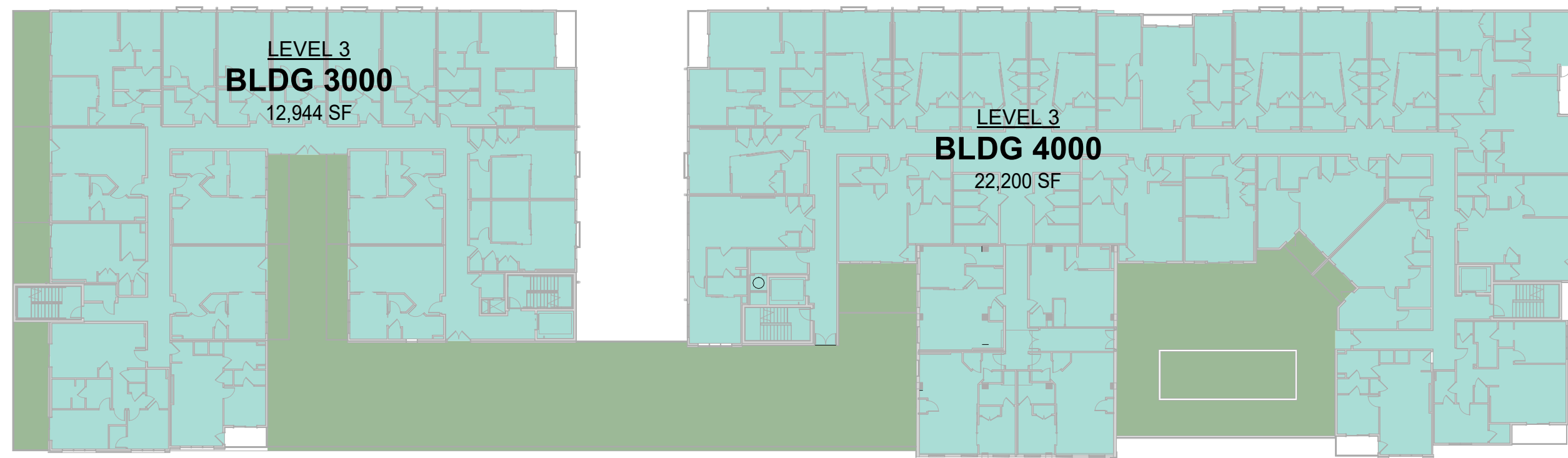
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DRAWN BY: Author CHECKED BY: Checker

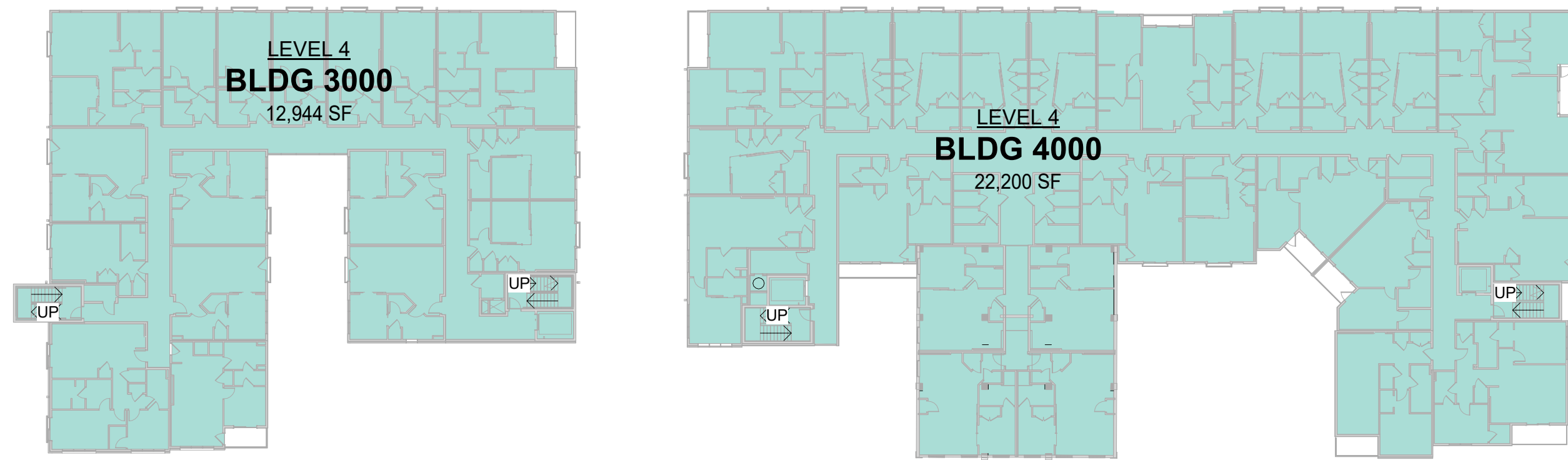
CD-01

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DESIGN REVIEW PACKAGE



1 GROSS AREA PLAN - LEVEL 3
1/32" = 1'-0"



2 GROSS AREA PLAN - LEVEL 4
1/32" = 1'-0"



3 GROSS AREA PLAN - LEVELS 5-7
1/32" = 1'-0"

BUILDING CODE DATA

BUILDING IDENTIFICATION :	4000	
BUILDING OCCUPANCY CLASSIFICATION :	R-2	
AREA ALLOWED (PER 506.2.3):	384,000 SQ. FT.	
SQ. FT. INCREASE ALLOWED BY AREA MODIFICATIONS (PER 506)		
AREA ALLOWED PER FLOOR (PER 506.2) :	96,000 SQ. FT.	
AREA PROVIDED	SEE GROSS AREA TABLES BELOW	
TYPE OF CONSTRUCTION :	IIIA	
BUILDING HEIGHT ALLOWANCE (PER 504.3):	85' - 0"	
BUILDING HEIGHT PROVIDED :	76' - 0"	
NUMBER OF STORIES ALLOWED (PER 504.4):	5	
NUMBER OF STORIES PROVIDED :	5	
FIRE RATING :	WALLS AND PARTITIONS	OPENING PROTECTION
FIRE WALLS (PER 706.4):	3 HOUR	3 HOUR
SHAFT ENCLOSURES GREATER THAN 4 STORIES (PER 713.4):	2 HOUR	1 1/2 HOUR
MIXED OCCUPANCY SEPARATION (PER 508.4):	VARIES - SEE PLANS	
INTERIOR BEARING WALLS (PER 601):	1 HOUR	-
INTERIOR NON-BEARING WALLS (PER 601):	0 HOUR	-
EXT. BEARING WALLS (PER 601):	2 HOUR	3/4 HOUR
EXT. BEARING WALLS: GREATER THAN 30' SEPARATION (PER 602):	1 HOUR	-
EXT. BEARING WALLS: LESS THAN 30' SEPARATION (PER 602):	1 HOUR	3/4 HOUR
CORRIDOR WALLS (PER 1020.1):	1/2 HOUR	1/3 HOUR
ELEVATOR SHAFT WALLS (PER 713.4):	2 HOUR	1 1/2 HOUR
REFUSE CHUTE SHAFT WALLS AND TERMINATION ROOM (PER 713.13):	2 HOUR	1 1/2 HOUR
REFUSE ACCESS AND ROOMS (PER 713.13):	1 HOUR	3/4 HOUR
FLOOR / CEILING CONSTRUCTION (PER 601):	1 HOUR	-
ROOF CEILING CONSTRUCTION (PER 601):	1 HOUR	-
PRIMARY STRUCTURAL FRAME (PER 601):	1 HOUR	-
STAIRS :		
STAIR WIDTH (PER 1009.1):	MIN. REQUIRED: 44"	MIN. PROVIDED 48"
ELEVATOR LOBBIES		
REQUIRED (PER 708.14.1 EXCEPTION 4):	YES	
FLOOR LOCATIONS:	LEVELS 3-7	
FIRE PROTECTION SYSTEM		
SPRINKLER SYSTEM PROVIDED (PER 903.3.1.1):	NFPA 13	
STANDPIPES REQUIRED (PER 905):	YES, WET SYSTEM AT STAIRWAYS	
FIRE EXTINGUISHERS (PER 906):	PROVIDED 75' MAX TRAVEL DIST./COMMON CORRIDOR/RESIDENTIAL UNITS	
EXITS REQUIRED		
BUILDING EXITS (PER 1006.3.2):	PER FLOOR: PER FLOOR: 2 MINIMUM WITHIN ALLOWED TRAVEL DISTANCE	
HORIZONTAL EXITS (PER 1026):	SEE PLANS FOR LOCATION	
TRAVEL DISTANCE (PER 1017.2):	250 FEET ALLOWED	
DEAD END CORRIDOR (PER 1020.4 EXCEPTION 2):	50 FEET ALLOWED ALLOWED	SEE PLANS FOR PROVIDED
UNITS OF EGRESS (PER 1005.1):	CORRIDOR WIDTH = .20 PER OCCUPANT	
	STAIR WIDTH = .30 PER OCCUPANT	
ROOF ACCESS		
ROOF ACCESS PROVIDED:	YES, VIA ROOF HATCH AT EACH STAIRWAY	
ATTIC VENTILATION		
ATTIC VENTILATION REQUIRED (PER 1202.2):	UNVENTED ATTIC PER SECTION 1202.3	
ATTIC VENTILATION TYPE:	NOT APPLICABLE	

BUILDING CODE DATA

BUILDING IDENTIFICATION :	3000	
BUILDING OCCUPANCY CLASSIFICATION :	R-2	
AREA ALLOWED (PER 506.2.3):	384,000 SQ. FT.	
SQ. FT. INCREASE ALLOWED BY AREA MODIFICATIONS (PER 506)		
AREA ALLOWED PER FLOOR (PER 506.2) :	96,000 SQ. FT.	
AREA PROVIDED	SEE GROSS AREA TABLES BELOW	
TYPE OF CONSTRUCTION :	IIIA	
BUILDING HEIGHT ALLOWANCE (PER 504.3):	85' - 0"	
BUILDING HEIGHT PROVIDED :	76' - 0"	
NUMBER OF STORIES ALLOWED (PER 504.4):	5	
NUMBER OF STORIES PROVIDED :	5	
FIRE RATING :	WALLS AND PARTITIONS	OPENING PROTECTION
FIRE WALLS (PER 706.4):	3 HOUR	3 HOUR
SHAFT ENCLOSURES GREATER THAN 4 STORIES (PER 713.4):	2 HOUR	1 1/2 HOUR
MIXED OCCUPANCY SEPARATION (PER 508.4):	VARIES - SEE PLANS	
INTERIOR BEARING WALLS (PER 601):	1 HOUR	-
INTERIOR NON-BEARING WALLS (PER 601):	0 HOUR	-
EXT. BEARING WALLS (PER 601):	2 HOUR	3/4 HOUR
EXT. BEARING WALLS: GREATER THAN 30' SEPARATION (PER 602):	1 HOUR	-
EXT. BEARING WALLS: LESS THAN 30' SEPARATION (PER 602):	1 HOUR	3/4 HOUR
CORRIDOR WALLS (PER 1020.1):	1/2 HOUR	1/3 HOUR
ELEVATOR SHAFT WALLS (PER 713.4):	2 HOUR	1 1/2 HOUR
REFUSE CHUTE SHAFT WALLS AND TERMINATION ROOM (PER 713.13):	2 HOUR	1 1/2 HOUR
REFUSE ACCESS AND ROOMS (PER 713.13):	1 HOUR	3/4 HOUR
FLOOR / CEILING CONSTRUCTION (PER 601):	1 HOUR	-
ROOF CEILING CONSTRUCTION (PER 601):	1 HOUR	-
PRIMARY STRUCTURAL FRAME (PER 601):	1 HOUR	-
STAIRS :		
STAIR WIDTH (PER 1009.1):	MIN. REQUIRED: 44"	MIN. PROVIDED 48"
ELEVATOR LOBBIES		
REQUIRED (PER 708.14.1 EXCEPTION 4):	YES	
FLOOR LOCATIONS:	LEVELS 3-7	
FIRE PROTECTION SYSTEM		
SPRINKLER SYSTEM PROVIDED (PER 903.3.1.1):	NFPA 13	
STANDPIPES REQUIRED (PER 905):	YES, WET SYSTEM AT STAIRWAYS	
FIRE EXTINGUISHERS (PER 906):	PROVIDED 75' MAX TRAVEL DIST./COMMON CORRIDOR/RESIDENTIAL UNITS	
EXITS REQUIRED		
BUILDING EXITS (PER 1006.3.2):	PER FLOOR: PER FLOOR: 2 MINIMUM WITHIN ALLOWED TRAVEL DISTANCE	
HORIZONTAL EXITS (PER 1026):	SEE PLANS FOR LOCATION	
TRAVEL DISTANCE (PER 1017.2):	250 FEET ALLOWED	
DEAD END CORRIDOR (PER 1020.4 EXCEPTION 2):	50 FEET ALLOWED ALLOWED	SEE PLANS FOR PROVIDED
UNITS OF EGRESS (PER 1005.1):	CORRIDOR WIDTH = .20 PER OCCUPANT	
	STAIR WIDTH = .30 PER OCCUPANT	
ROOF ACCESS		
ROOF ACCESS PROVIDED:	YES, VIA ROOF HATCH AT EACH STAIRWAY	
ATTIC VENTILATION		
ATTIC VENTILATION REQUIRED (PER 1202.2):	UNVENTED ATTIC PER SECTION 1202.3	
ATTIC VENTILATION TYPE:	NOT APPLICABLE	

TOTAL GROSS - BUILDING 4000	
BLDG NUMBER	AREA
LEVEL 3	
4000	22,200 SF
LEVEL 4	
4000	22,200 SF
LEVEL 5	
4000	19,215 SF
LEVEL 6	
4000	19,215 SF
LEVEL 7	
4000	19,215 SF
GRAND TOTAL	102,044 SF

TOTAL GROSS - BUILDING 3000	
BLDG NUMBER	AREA
LEVEL 3	
3000	12,944 SF
LEVEL 4	
3000	12,944 SF
LEVEL 5	
3000	12,944 SF
LEVEL 6	
3000	12,944 SF
LEVEL 7	
3000	12,944 SF
GRAND TOTAL	64,718 SF

ISSUE	DATE	DESCRIPTION	NO.
2020-09-25	DESIGN REVIEW PACKAGE		X

REVISION	DATE	DESCRIPTION	BY
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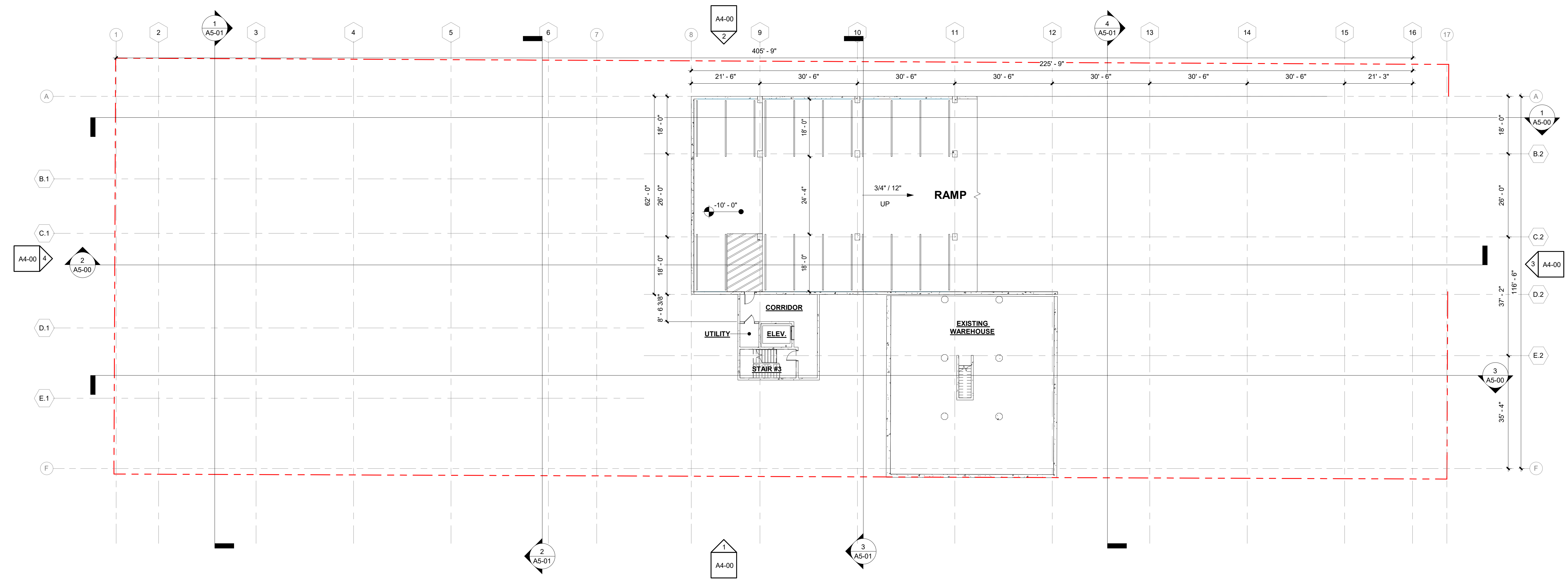
BUILDING CODE DATA

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY CHECKED BY
Author Checker

CD-02



1 OVERALL BUILDING PLAN - LEVEL 0
1/16" = 1'-0"

ISSUE	DATE	DESCRIPTION	APPROVED
1	2023-09-25	DESIGN REVIEW PACKAGE	X

REVISION	DATE	DESCRIPTION	REV

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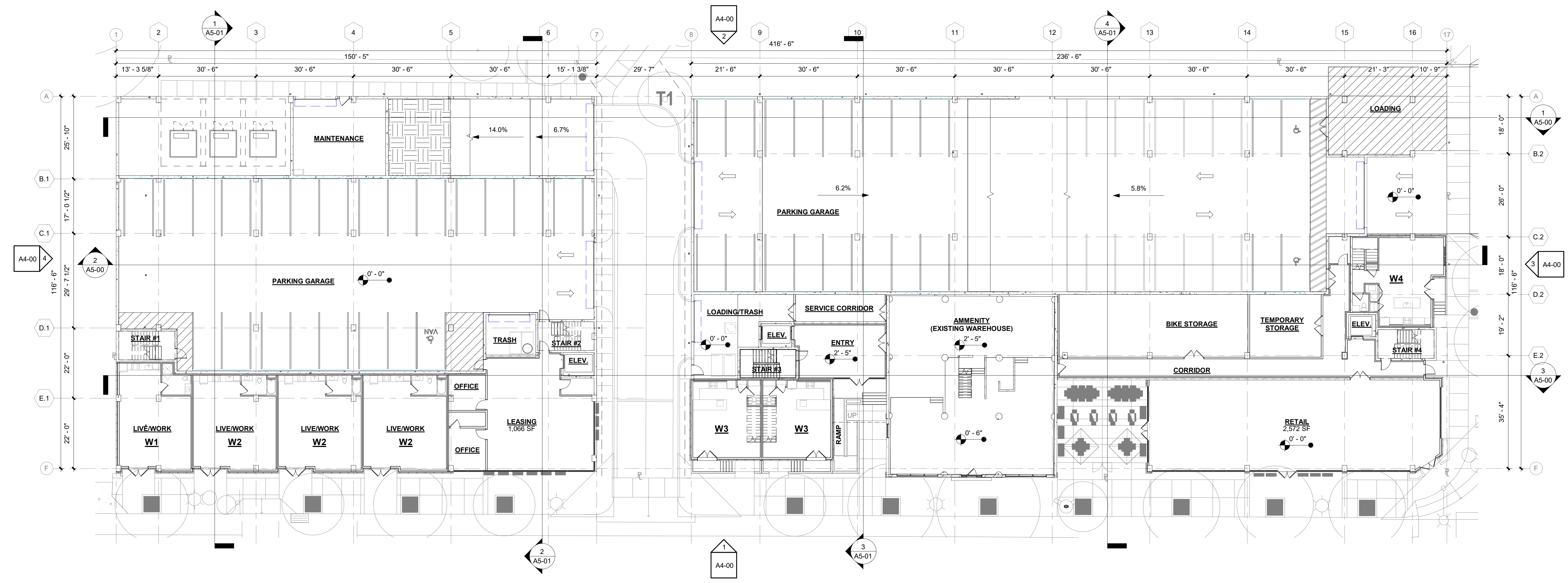
**OVERALL
BUILDING PLAN
- BASEMENT
LEVEL**
DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY: Author
CHECKED BY: Checker

A0-00

DESIGN REVIEW PACKAGE



1 OVERALL BUILDING PLAN - LEVEL 1
1/16" = 1'-0"

ISSUE	DESCRIPTION	NO.
DATE		
2023-09-25	DESIGN REVIEW PACKAGE	X

REVISION	DESCRIPTION	REV

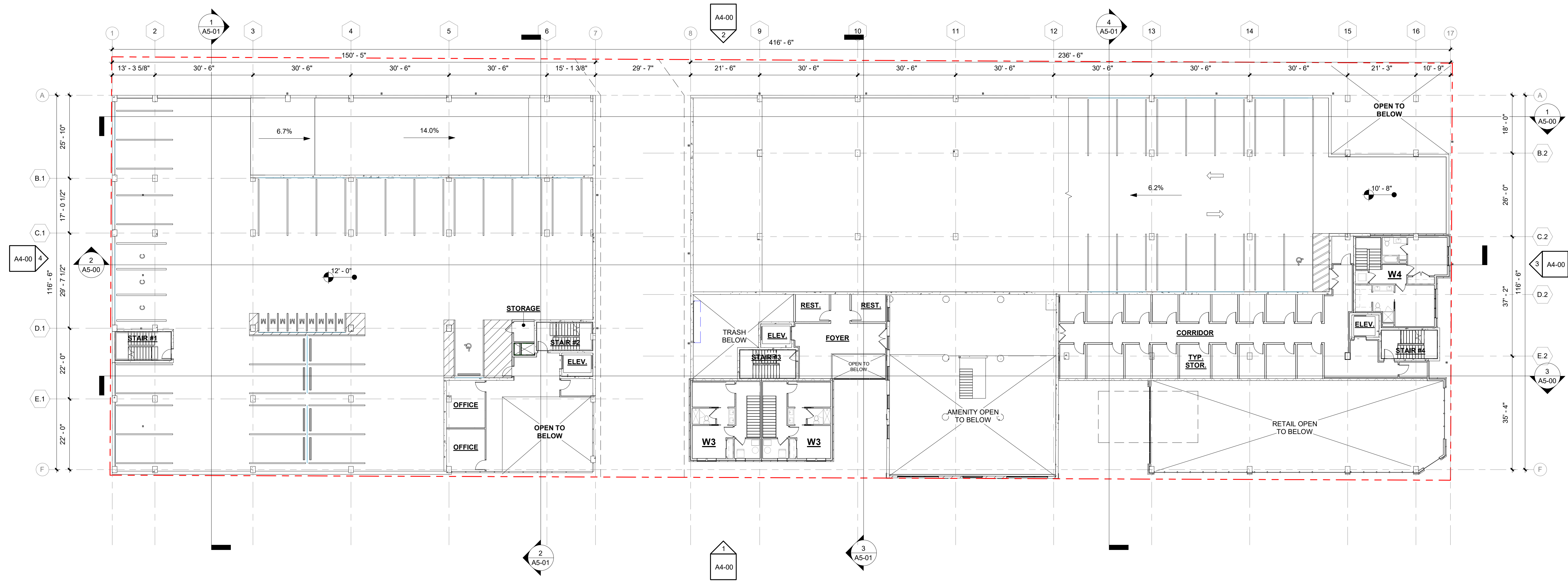
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**OVERALL
BUILDING PLAN
- LEVEL 1**
DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY: Author
CHECKED BY: Checker

A0-01



1 OVERALL BUILDING PLAN - LEVEL 2
1/16" = 1'-0"

ISSUE	DESCRIPTION	NO.
DATE		
2020-09-25	DESIGN REVIEW PACKAGE	X

REVISION	DESCRIPTION	REV.

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**OVERALL
BUILDING PLAN
- LEVEL 2**
DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY: Author
CHECKED BY: Checker

A0-02

ISSUE	DATE	DESCRIPTION	BY	NO.
1	2023-09-25	DESIGN REVIEW PACKAGE	A4-00	X

REVISION	DATE	DESCRIPTION	BY
1			
2			
3			

NO.	DESCRIPTION

DESIGNER: dwelldesignstudio.com
ARCHITECT: db URBAN COMMUNITIES
GENERAL CONTRACTOR: [REDACTED]
DATE: 2023-09-25
SCALE: 1/16" = 1'-0"

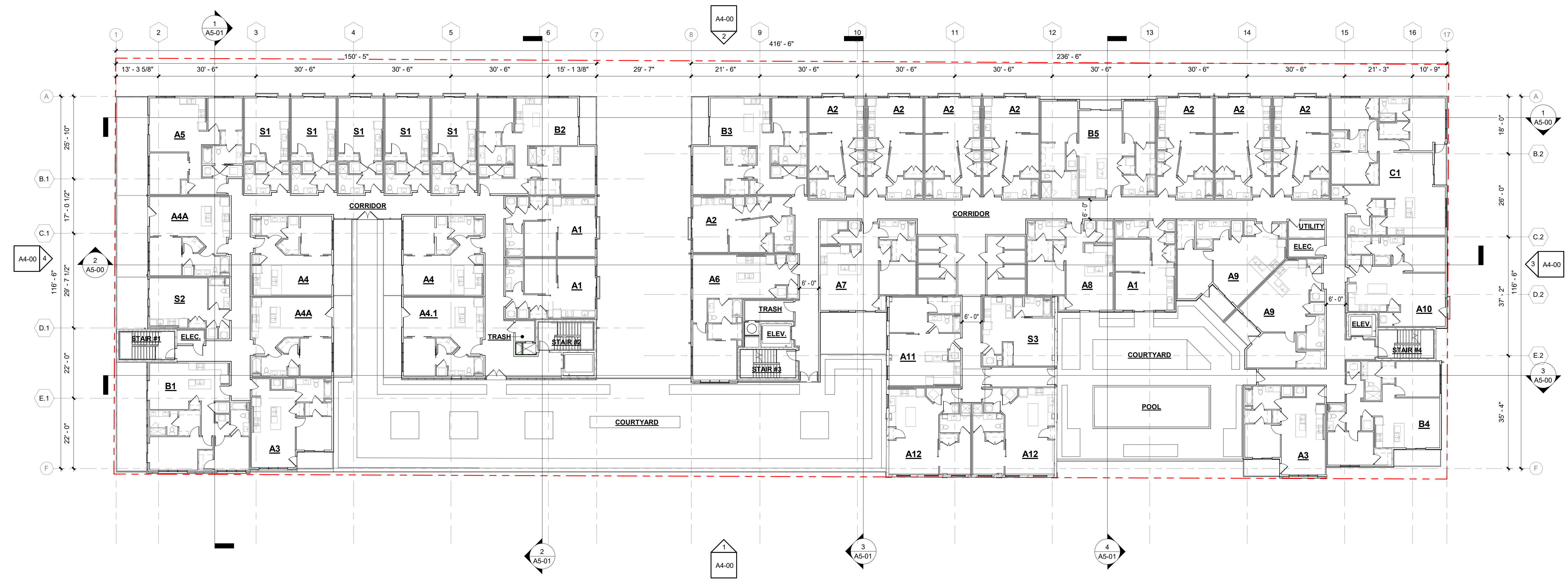
**OVERALL
BUILDING PLAN
- LEVEL 3**

DESIGN REVIEW PACKAGE
JOB NUMBER: 2032701

DRAWN BY: Author
CHECKED BY: Checker

A0-03

DESIGN REVIEW PACKAGE



1 OVERALL BUILDING PLAN - LEVEL 3
1/16" = 1'-0"



1 OVERALL BUILDING PLAN - LEVEL 4
1/16" = 1'-0"

ISSUE	DATE	DESCRIPTION	BY	NO.
1	2023-09-25	DESIGN REVIEW PACKAGE	A4-00	X

REVISION	DATE	DESCRIPTION	BY
1			
2			
3			

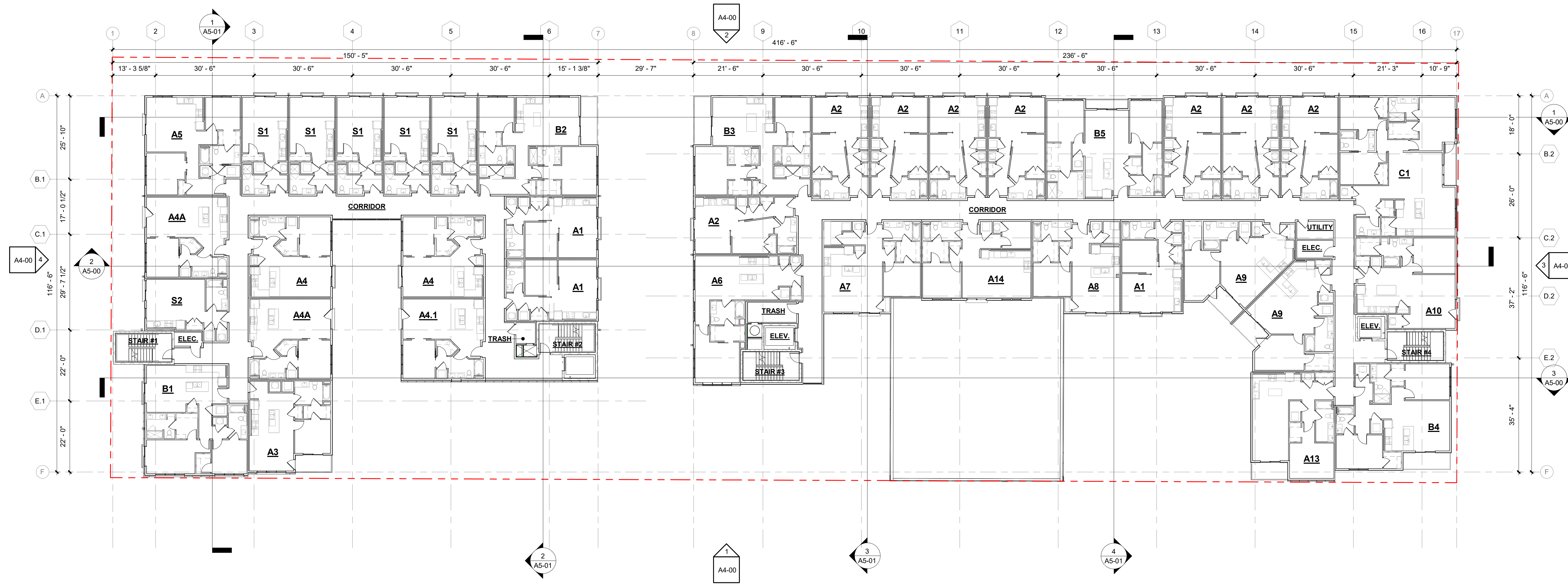
DESIGNER: DWELL DESIGN STUDIO
ARCHITECT: DWELL DESIGN STUDIO
GENERAL CONTRACTOR: [REDACTED]
DATE: 09/25/2023
PROJECT: CINQ
SHEET: A0-04

**OVERALL
BUILDING PLAN
- LEVEL 4**
DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY: Author
CHECKED BY: Checker

A0-04



1 OVERALL BUILDING PLAN - LEVEL 5
 1/16" = 1'-0"

ISSUE	DATE	DESCRIPTION	NO.
1	2025-09-25	DESIGN REVIEW PACKAGE	X

REVISION	DATE	DESCRIPTION	BY

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OVERALL BUILDING PLAN - LEVEL 5
 DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY: Author CHECKED BY: Checker

A0-05

ISSUE	DATE	DESCRIPTION	NO.	BY
1	2023-09-25	DESIGN REVIEW PACKAGE	X	

REVISION	DATE	DESCRIPTION	BY
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2			
3			

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PROJECT NAME:
OVERALL BUILDING PLAN - LEVEL 6

DESIGN REVIEW PACKAGE

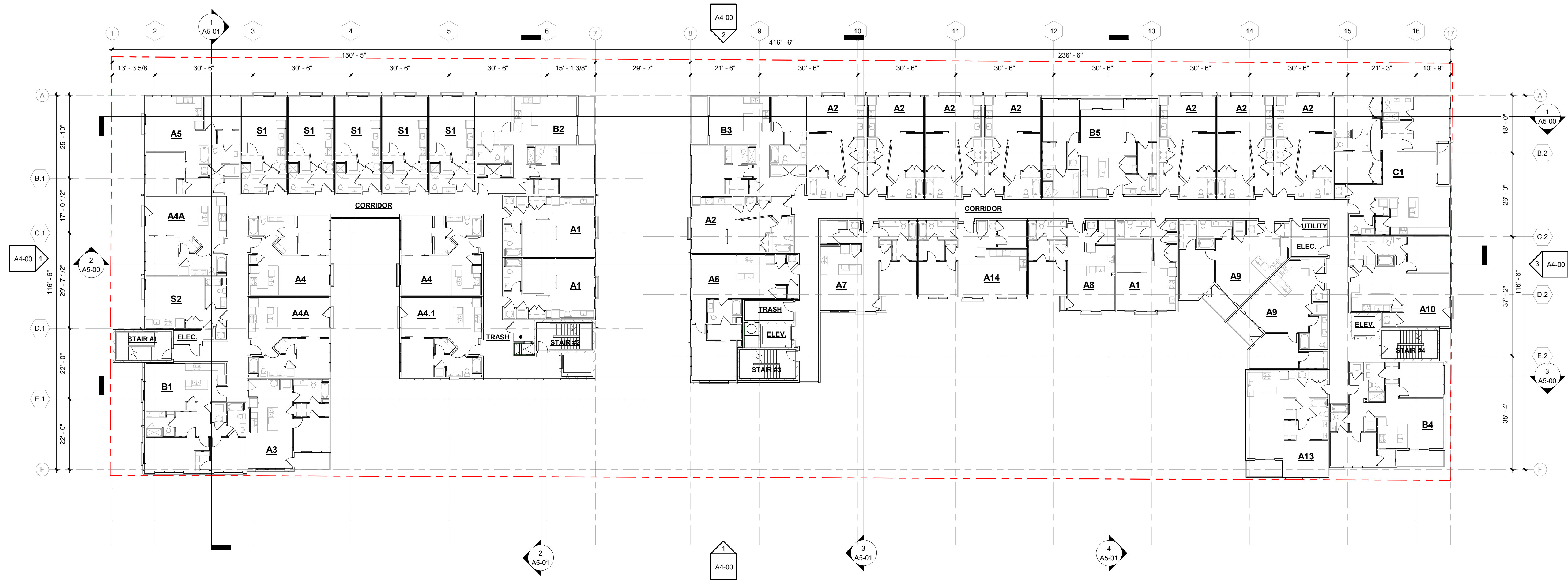
JOB NUMBER: 2032701

DRAWN BY: Author
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A0-06

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1 OVERALL BUILDING PLAN - LEVEL 6
1/16" = 1'-0"

ISSUE	DATE	DESCRIPTION	BY	NO.
1	2025-09-25	DESIGN REVIEW PACKAGE		X

REVISION	DATE	DESCRIPTION	BY
1			
2			
3			

DATE: 2025-09-25
DESCRIPTION: DESIGN REVIEW PACKAGE
BY: X

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PROJECT NAME:

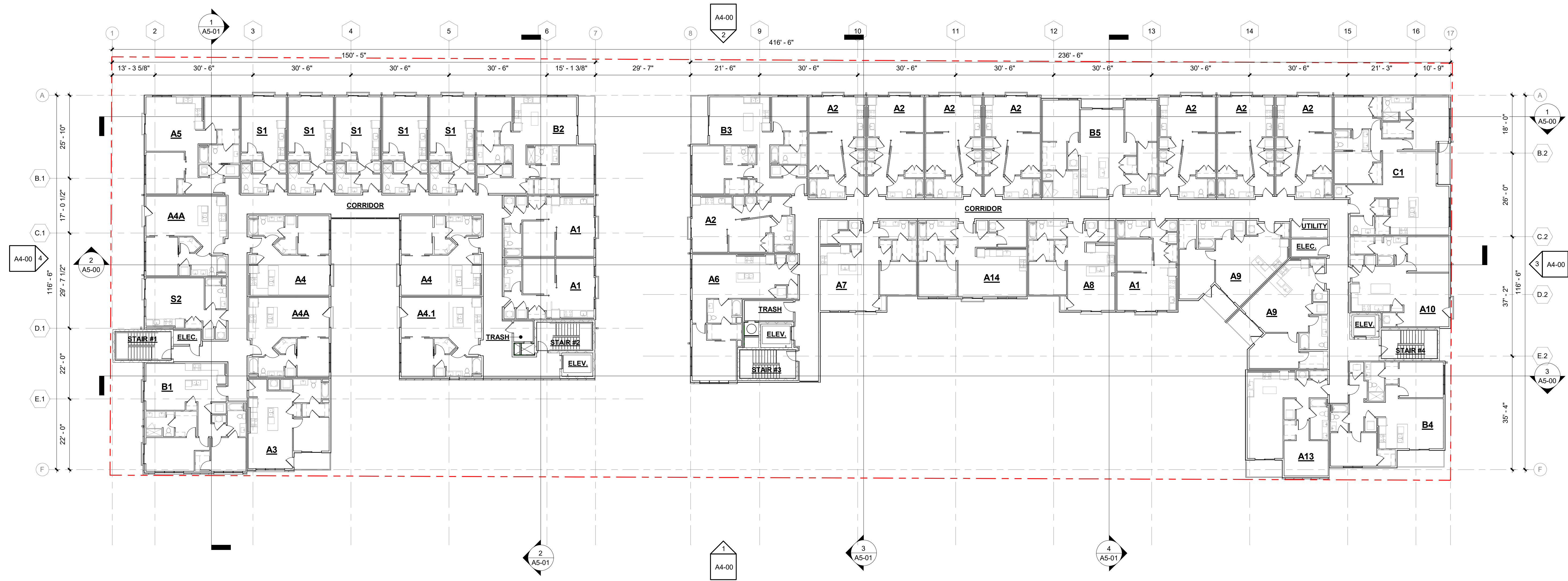
**OVERALL
BUILDING PLAN
- LEVEL 7**

DESIGN REVIEW PACKAGE

JOB NUMBER: 2032701

DRAWN BY: Author
CHECKED BY: Checker

A0-07



1 OVERALL BUILDING PLAN - LEVEL 7
1/16" = 1'-0"

ISSUE	DATE	DESCRIPTION	APPROVED
1	2023-09-25	DESIGN REVIEW PACKAGE	X

REVISION	DATE	DESCRIPTION	BY
1			
2			
3			

NO.	DESCRIPTION

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**OVERALL
BUILDING PLAN
- ROOF LEVEL**

DESIGN REVIEW PACKAGE

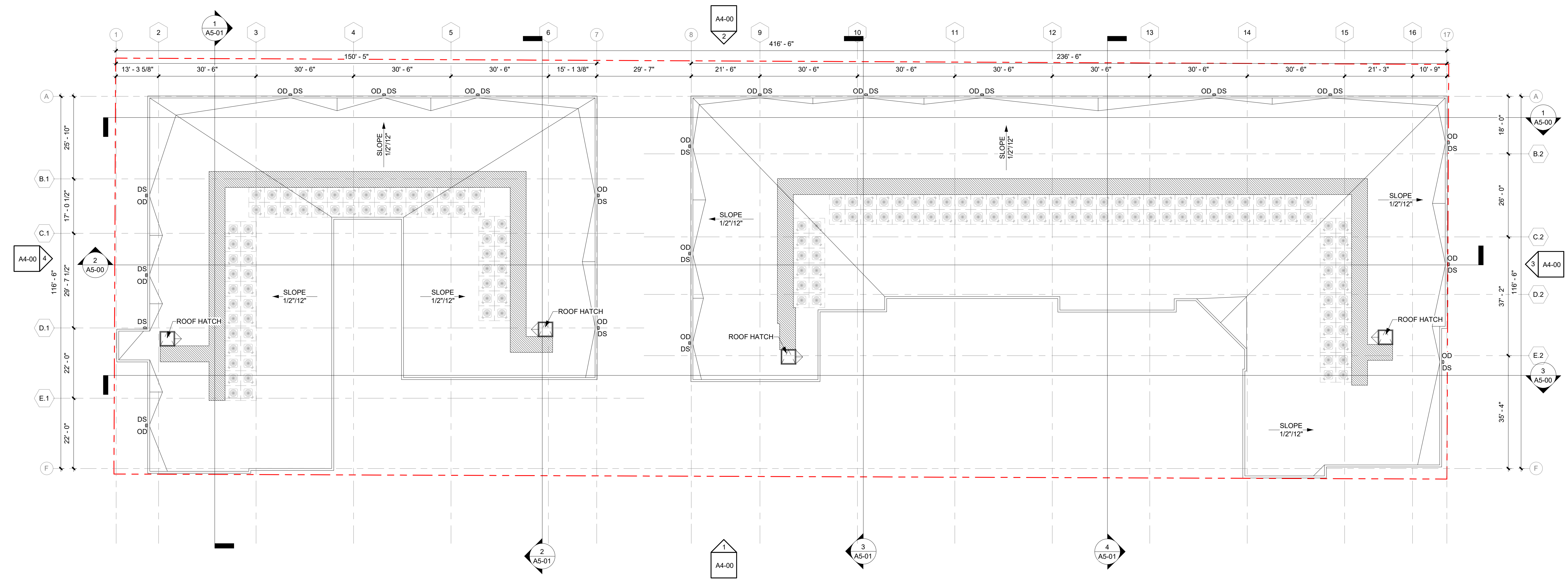
JOB NUMBER: 2032701

DRAWN BY: Author
CHECKED BY: Checker

A0-08

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1 OVERALL ROOF PLAN
1/16" = 1'-0"

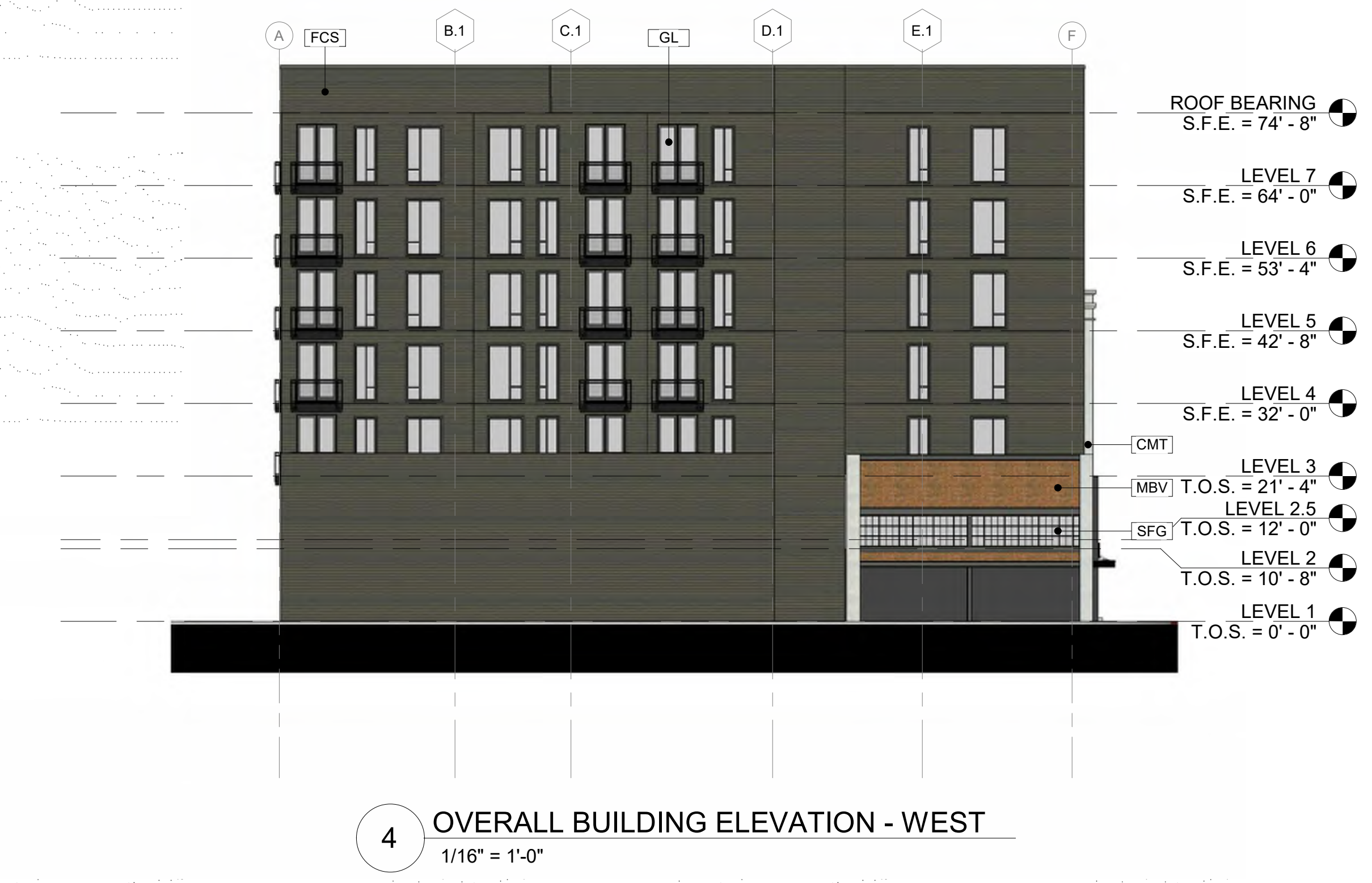
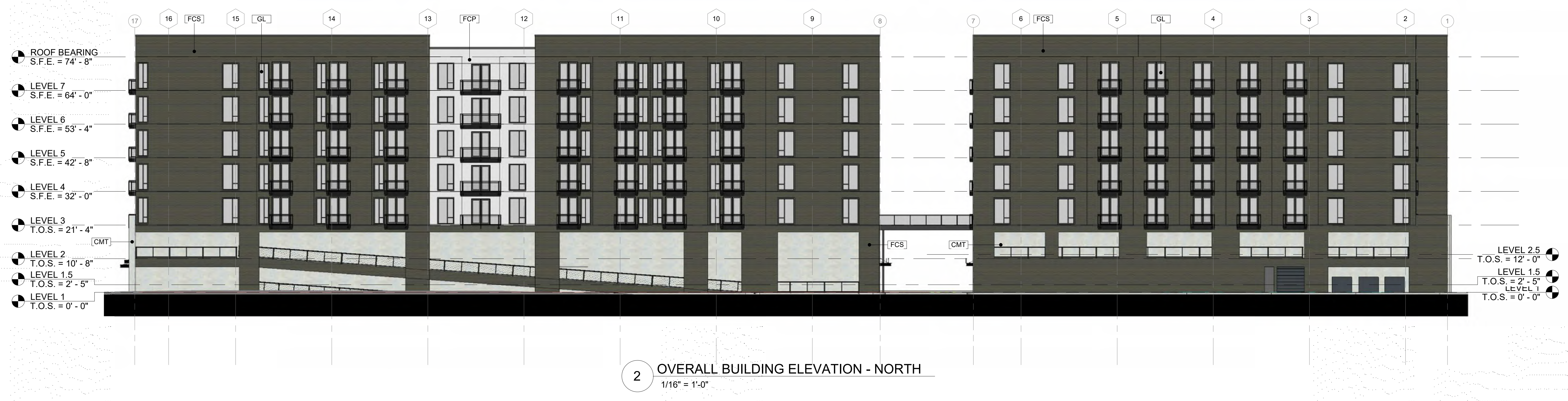
ISSUE NO.	DESCRIPTION	RESOLVED
2023-05-25	DESIGN REVIEW PACKAGE	X

REVISION NO.	DESCRIPTION	REV.

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PROJECT NAME	
OVERALL BUILDING ELEVATIONS	
DESIGN REVIEW PACKAGE	
JOB NUMBER: 2032701	
DRAWN BY: Author	CHECKED BY: Checker

A4-00



EXTERIOR FINISH LEGEND		
NO.	MATERIAL DESCRIPTION	MANUFACTURER AND COLOR INFORMATION
FCS	FIBER CEMENT LAP SIDING - COLOR 1	
FCP	FIBER CEMENT PANEL - COLOR 2	
MBV	MASONRY BRICK VENEER	
CMT	SMOOTH CEMENT	
SFG	STOREFRONT GLASS	
GL	GLASS CASING	
MP	METAL PANELING	
EBV	EXISTING WAREHOUSE BRICK VENEER	
ESG	EXISTING WAREHOUSE STOREFRONT GLASS	

ISSUE	DATE	DESCRIPTION	APPROVED
1	2023-09-25	DESIGN REVIEW PACKAGE	X

REVISION	DATE	DESCRIPTION	BY

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**OVERALL
BUILDING
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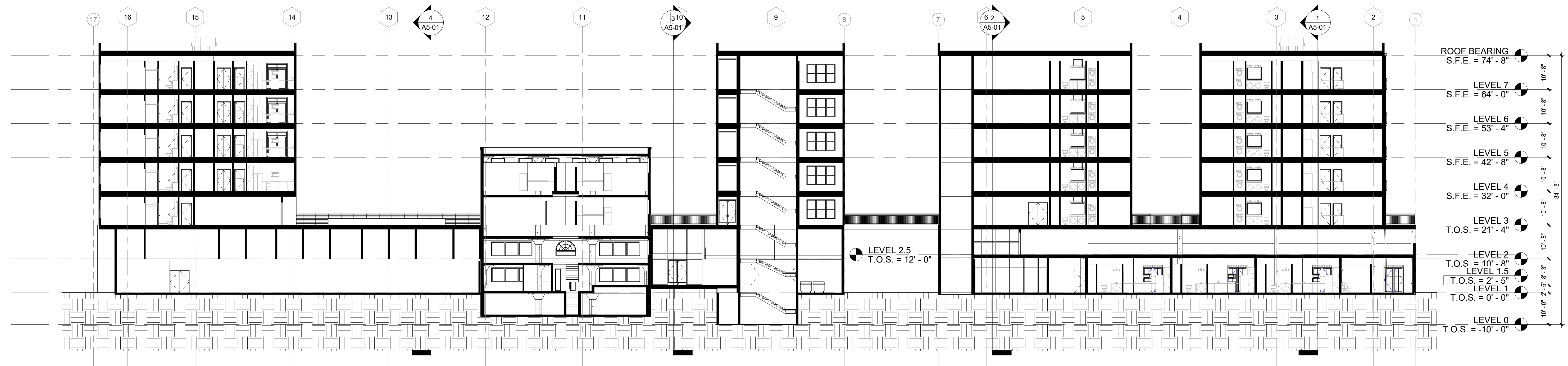
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JOB NUMBER: 2032701

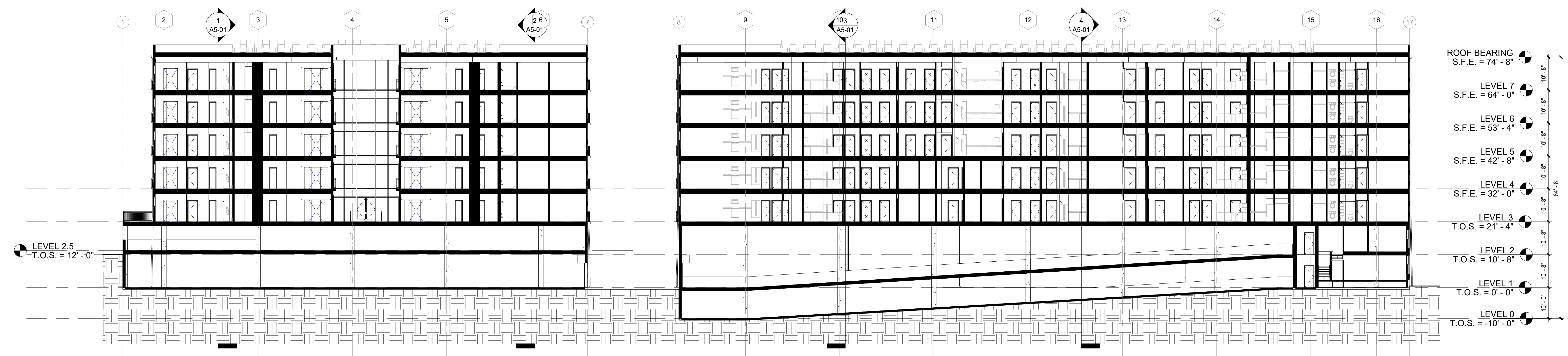
DRAWN BY: EHAL/SW
CHECKED BY: MO

A5-00

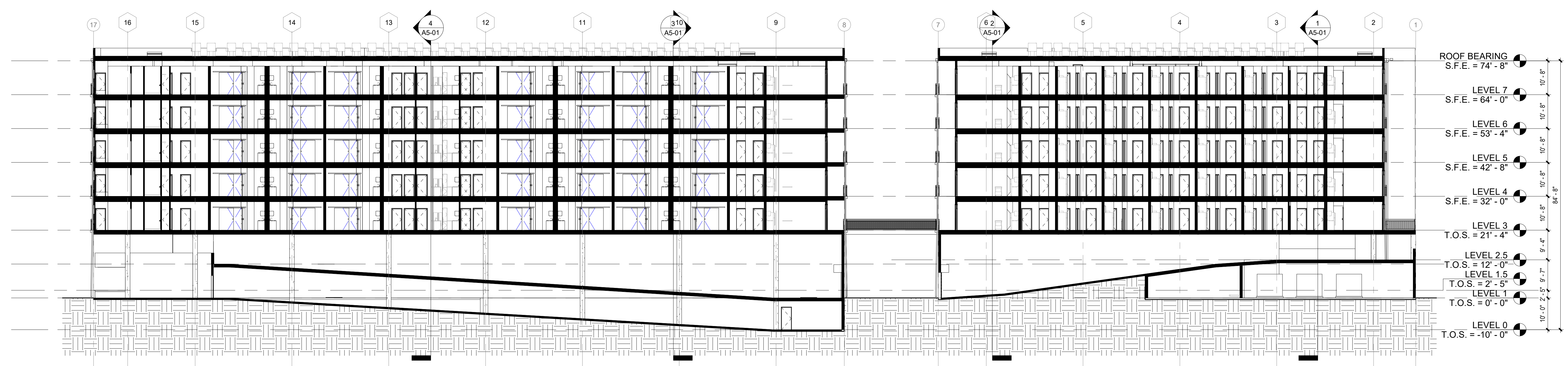
DESIGN REVIEW PACKAGE



3 OVERALL BUILDING SECTION C
1/16" = 1'-0"



2 OVERALL BUILDING SECTION B
1/16" = 1'-0"



1 OVERALL BUILDING SECTION A
1/16" = 1'-0"

ISSUE	DESCRIPTION	NO.
DATE		
2023-09-25	DESIGN REVIEW PACKAGE	X

REVISION	DESCRIPTION	REV

SCALE

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PROJECT NAME

**OVERALL
BUILDING
SECTIONS**

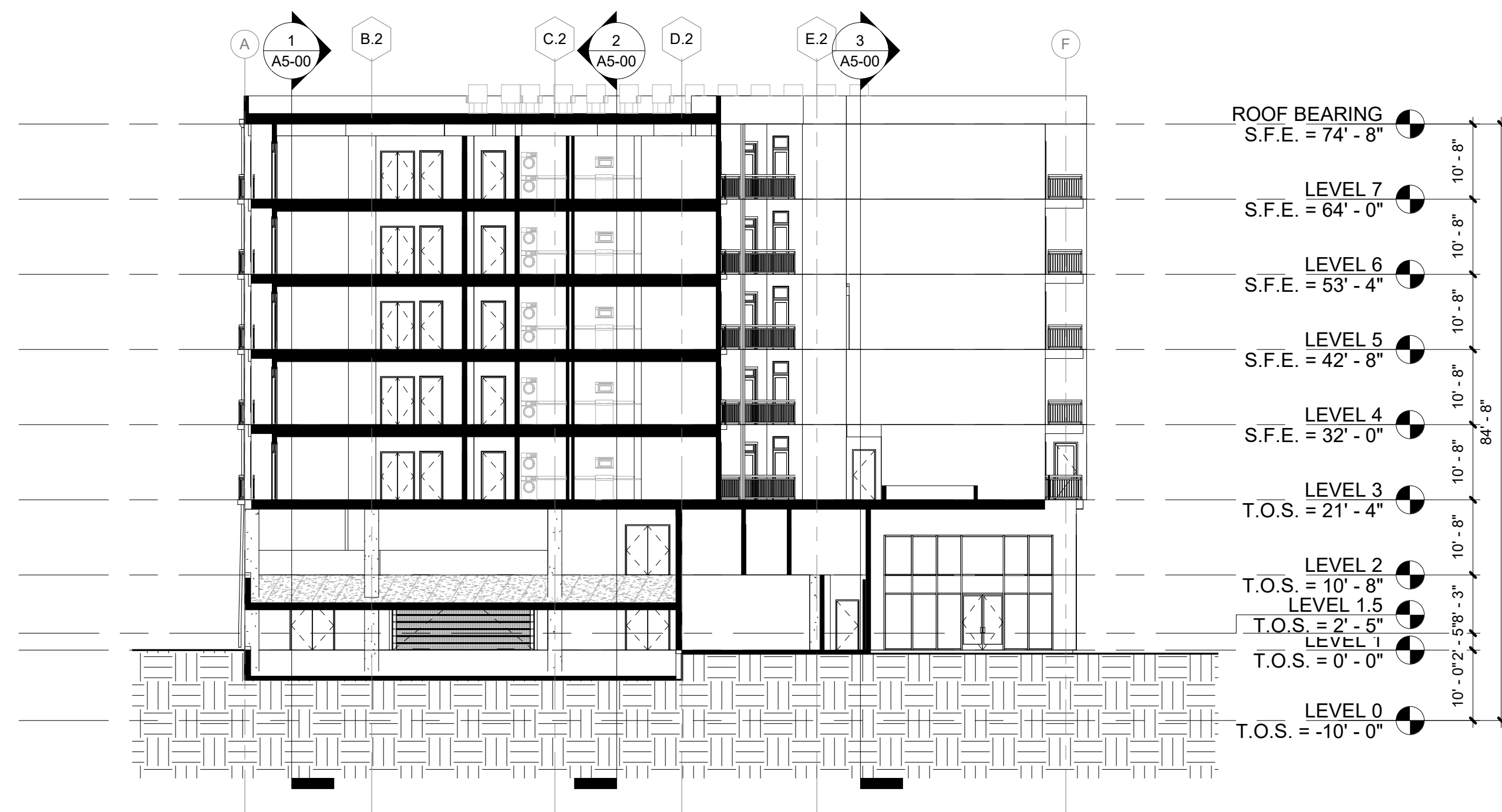
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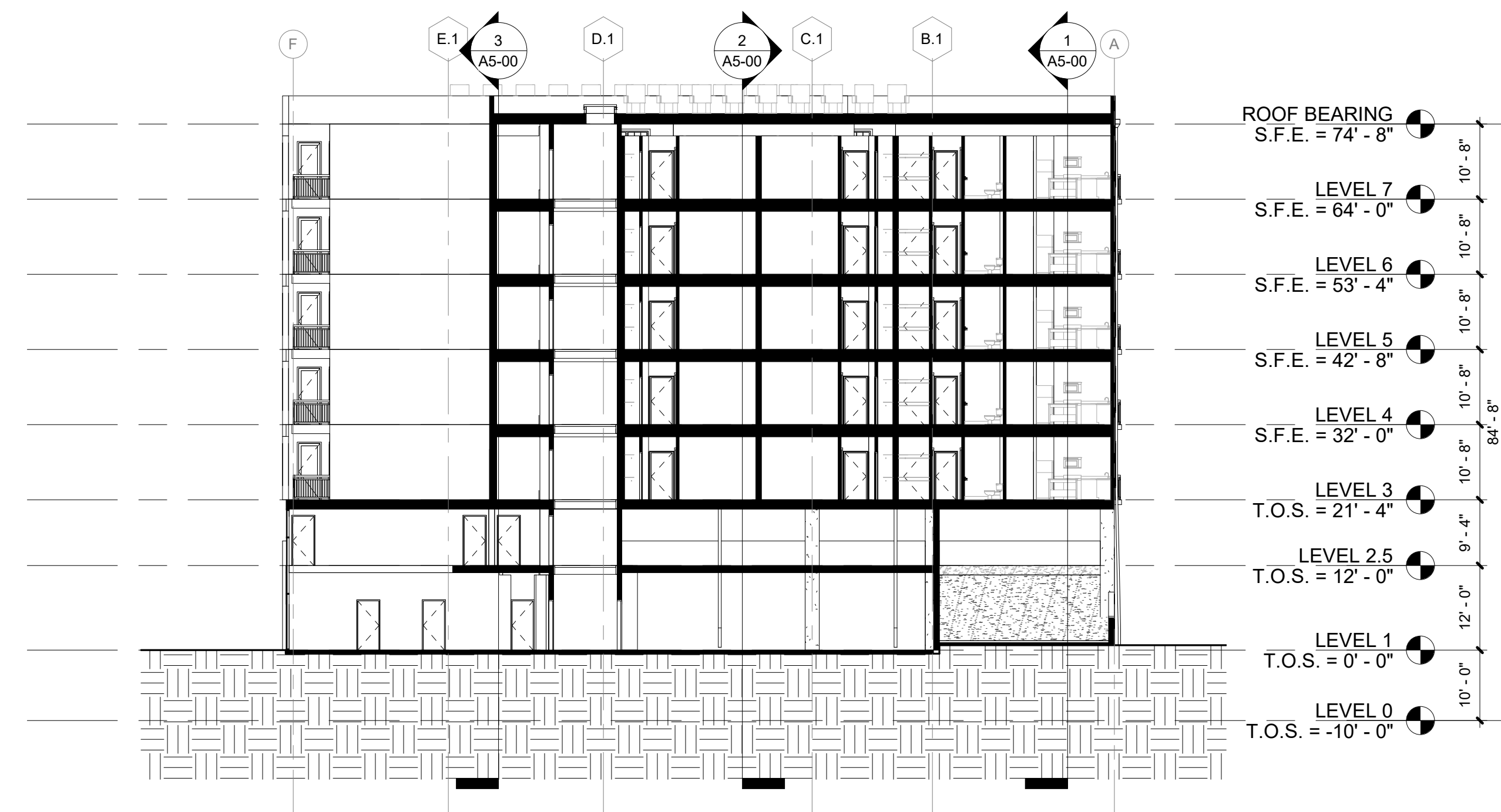
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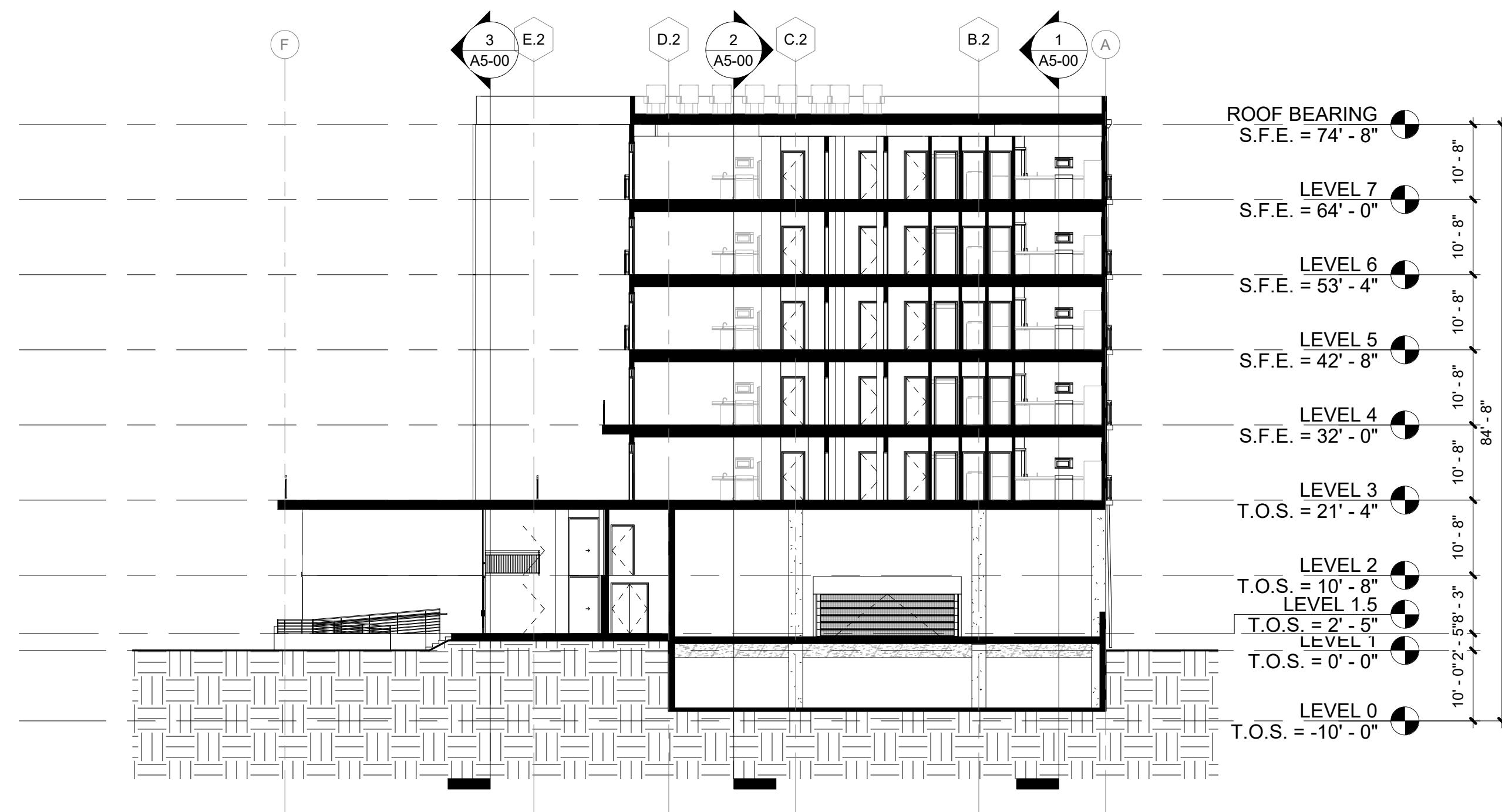
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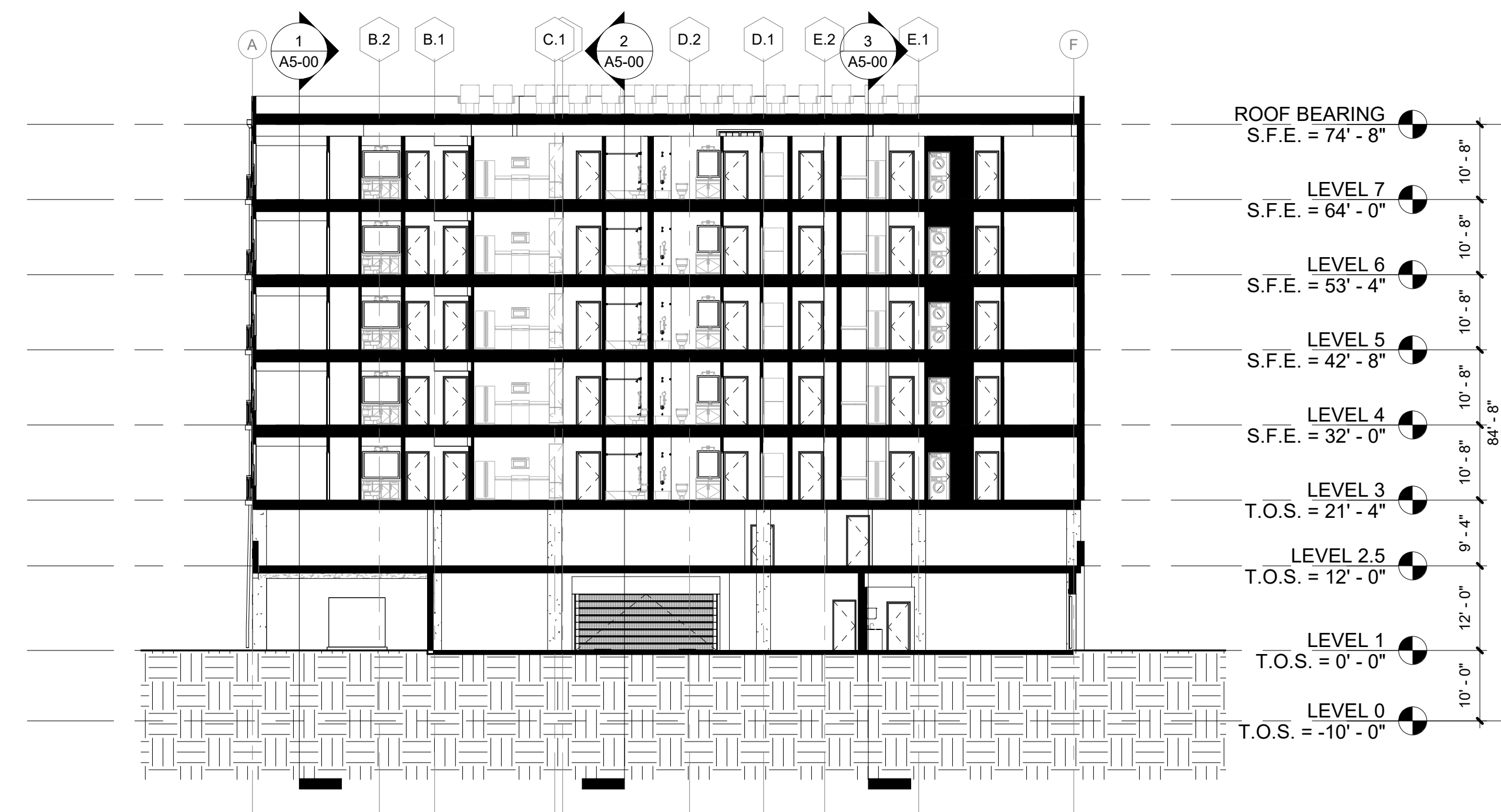
4 OVERALL BUILDING SECTION 4
1/16" = 1'-0"



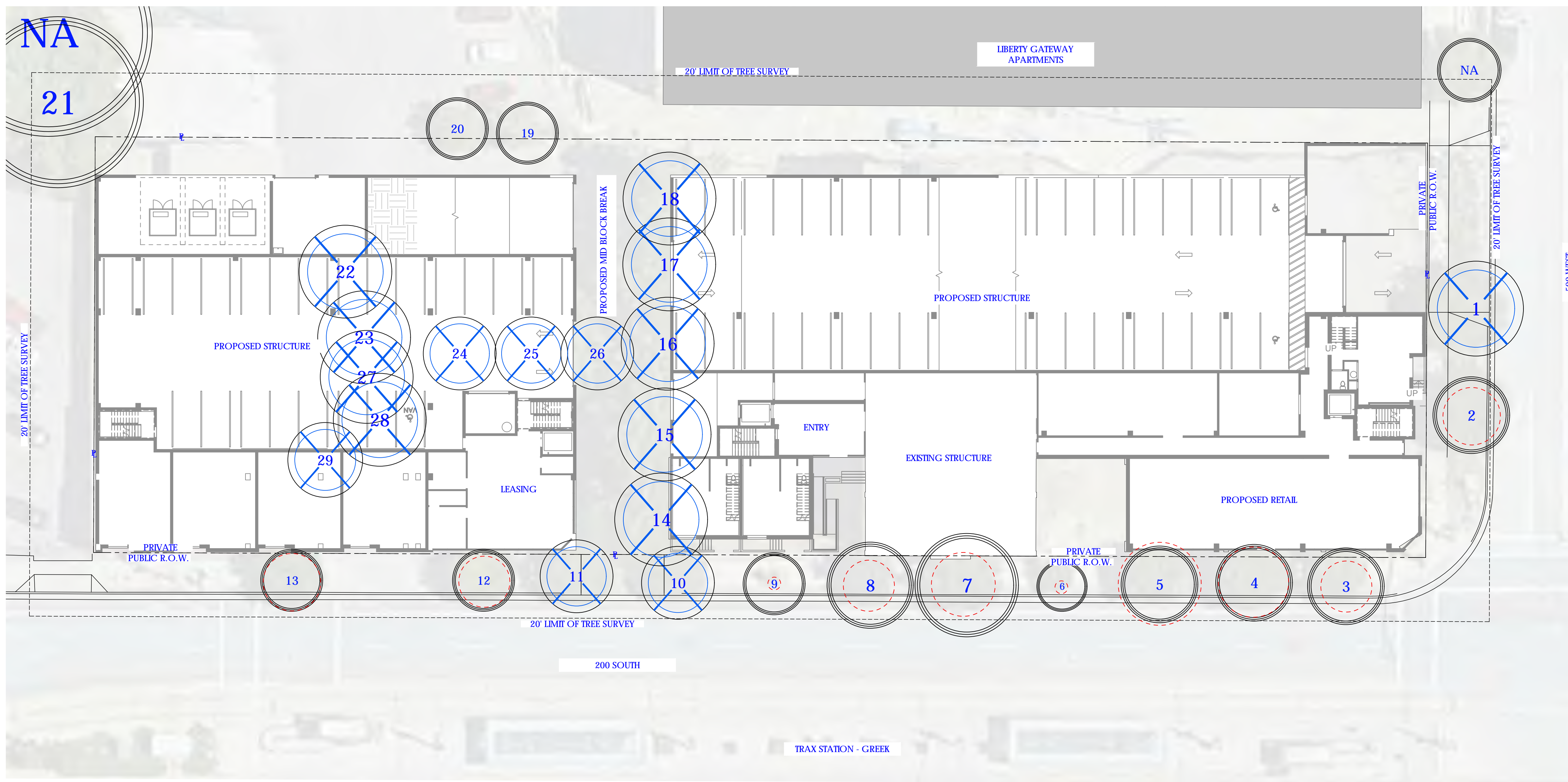
2 OVERALL BUILDING SECTION 2
1/16" = 1'-0"



3 OVERALL BUILDING SECTION 3
1/16" = 1'-0"



1 OVERALL BUILDING SECTION 1
1/16" = 1'-0"



EXISTING TREE SCHEDULE

SYMBOL	DESCRIPTION
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO PROTECTED *TREES MARKED 'N/A' ARE BEYOND THE LIMIT OF THE TREE SURVEY
	TREE PROTECTION ZONE FOR PRESERVED TREES

NOTES:
 1. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY AND NOTIFY LANDSCAPE ARCHITECT IF ANY UNMARKED TREES ARE FOUND
 2. ALL NEIGHBORING VEGETATION IS CONTRACTOR'S RESPONSIBILITY TO PROTECT IN PLACE
 3. ALL PRIVATE LANDSCAPE AREAS TO BE CLEARED AND GRUBBED

EXISTING VEGETATION SCHEDULE

VEGETATION NUMBER	ACTION	TREE SPECIES	CONDITION	DBH	LOCATION	NOTE	R.O.W. TREE MITIGATION
1	DEMO	ZELKOVA SERRATA	GOOD	11"	R.O.W.	PROPOSED CURB CUT	11"
2	PROTECT	ZELKOVA SERRATA	GOOD	9"	R.O.W.	PARKSTRIP	0"
3	PROTECT	ZELKOVA SERRATA	GOOD	8"	R.O.W.	TREE GRATE	0"
4	PROTECT	ZELKOVA SERRATA	GOOD	11"	R.O.W.	TREE GRATE	0"
5	PROTECT	ZELKOVA SERRATA	GOOD	13"	R.O.W.	TREE GRATE	0"
6	PROTECT	ZELKOVA SERRATA	FAIR	2"	R.O.W.	TREE GRATE	0"
7	PROTECT	ZELKOVA SERRATA	GOOD	10"	R.O.W.	TREE GRATE	0"
8	PROTECT	ZELKOVA SERRATA	GOOD	8"	R.O.W.	TREE GRATE	0"
9	PROTECT	ZELKOVA SERRATA	FAIR	2"	R.O.W.	TREE GRATE	0"
10	DEMO	ZELKOVA SERRATA	GOOD	7"	R.O.W.	PROPOSED CURB CUT	7"
11	DEMO	ZELKOVA SERRATA	GOOD	8"	R.O.W.	PROPOSED CURB CUT	8"
12	PROTECT	ZELKOVA SERRATA	GOOD	8"	R.O.W.	TREE GRATE	0"
13	PROTECT	ZELKOVA SERRATA	GOOD	9"	R.O.W.	TREE GRATE	0"

PUBLIC R.O.W.: TOTAL TREES: 13 TOTAL DBH PRESERVED: 80" TOTAL DBH REMOVED: 26"
 (3) TREES STREET TREES REMOVED - SEE PLANTING PLAN FOR LOCATION OF REPLACEMENT STREET TREES

14	DEMO	PLATANUS OCCIDENTALIS	GOOD	11"	PRIVATE	ROAD EASEMENT	
15	DEMO	PLATANUS OCCIDENTALIS	GOOD	10"	PRIVATE	ROAD EASEMENT	
16	DEMO	PLATANUS OCCIDENTALIS	GOOD	9"	PRIVATE	ROAD EASEMENT	
17	DEMO	PLATANUS OCCIDENTALIS	GOOD	11"	PRIVATE	ROAD EASEMENT	
18	DEMO	PLATANUS OCCIDENTALIS	GOOD	14"	PRIVATE	ROAD EASEMENT	
19	PROTECT	PLATANUS OCCIDENTALIS	FAIR	5"	NEIGHBOR LOT	-	
20	PROTECT	PLATANUS OCCIDENTALIS	FAIR	4"	NEIGHBOR LOT	-	
21	PROTECT	ACER NEGUNDO	FAIR	30"	NEIGHBOR LOT	-	
22	DEMO	PLATANUS OCCIDENTALIS	FAIR	12"	PRIVATE	PROPOSED STRUCTURE	
23	DEMO	PLATANUS OCCIDENTALIS	FAIR	14"	PRIVATE	PROPOSED STRUCTURE	
24	DEMO	PLATANUS OCCIDENTALIS	FAIR	5"	PRIVATE	PROPOSED STRUCTURE	
25	DEMO	PLATANUS OCCIDENTALIS	FAIR	5"	PRIVATE	PROPOSED STRUCTURE	
26	DEMO	PLATANUS OCCIDENTALIS	FAIR	9"	PRIVATE	ROAD EASEMENT	
27	DEMO	PLATANUS OCCIDENTALIS	FAIR	12"	PRIVATE	PROPOSED STRUCTURE	
28	DEMO	PLATANUS OCCIDENTALIS	FAIR	16"	PRIVATE	PROPOSED STRUCTURE	
29	DEMO	ULMUS PARVIFOLIA	FAIR	7"	PRIVATE	PROPOSED STRUCTURE	

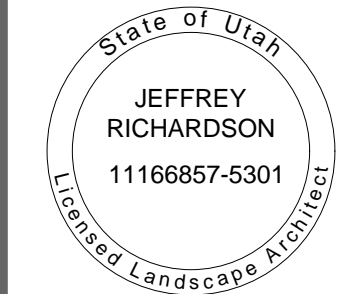
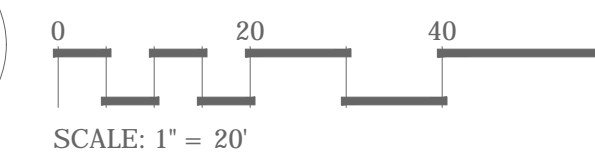
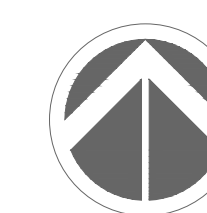
TOTAL ALL SITE: TOTAL TREES: 29 TOTAL DBH PRESERVED: 119" TOTAL DBH REMOVED: 161"



EXISTING SITE



EXISTING PRIVATE SITE



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PROJECT: **SIC - CINQ**
SALT LAKE CITY, UT

OWNER:



DATE: 9.24.2020

PROJECT: COM-20.10

REVIEWED: JDR

REVISIONS:

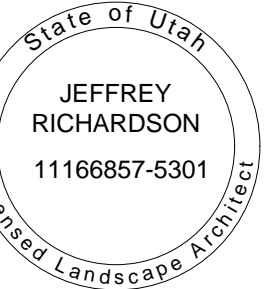
TITLE:

TREE SURVEY PLAN

SHEET:

10-01

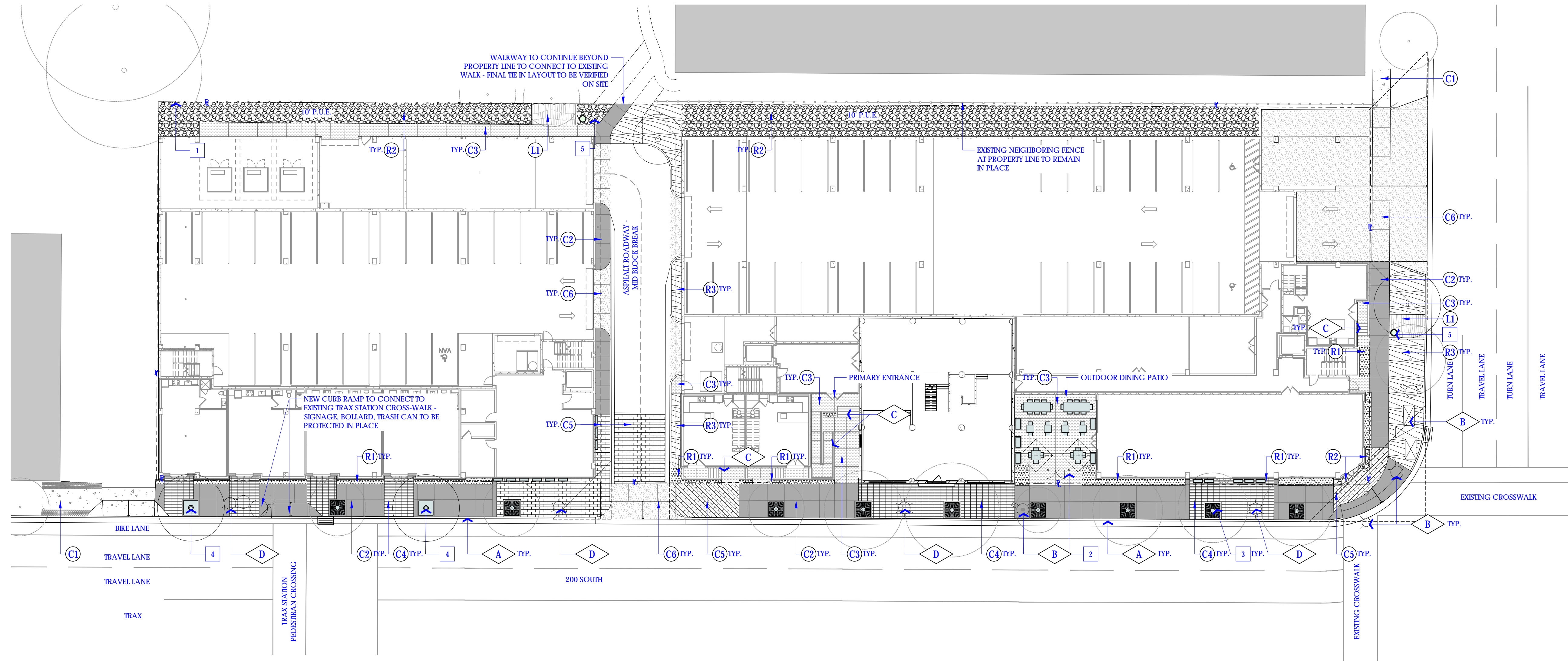
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LANDSCAPE AREAS - SURFACING MATERIALS	
HATCH	DESCRIPTION
	EXISTING PUBLIC R.O.W. TO REMAIN - CONCRETE + PAVERS
	PUBLIC CONCRETE PAVING - NATURAL GRAY FINISH MUST COMPLY TO SLC PUBLIC SIDEWALK STANDARDS (APWA)
	PRIVATE CONCRETE PAVING SUCH AS: LIGHT ETCH / ACID ETCH CONCRETE 1/2 DOSE COLOR T.B.D. TO CONTRAST AT PUBLIC R.O.W. INTERFACE
	PUBLIC R.O.W. ACCENT PAVING SUCH AS: PAVERS TO MATCH EXISTING CHARACTER -C.I.P. CONCRETE W/ HAND SEDED AGGREGATE
	PUBLIC R.O.W. MODULAR ACCENT PAVING SUCH AS (VEHICULAR & PEDESTRIAN ZONES) -PRECAST CONCRETE PAVERS -NATURAL TILE / STONE
	VEHICULAR CONCRETE - NATURAL GRAY CONCRETE
	DECORATIVE ROCK MULCH: 4" DEPTH OF PERMA-BARK 3/4" MINUS INSTALL WITH WEED BARRIER
	DECORATIVE ROCK MULCH: 3"-6" OF ANGULAR ROCK MULCH IN DARK EARTH TONES INSTALL WITH WEED BARRIER
	LANDSCAPE MULCH- 4" DEPTH OF SHREDDED BLACK BARK MULCH INSTALL WITH WEED BARRIER (PLANTING AREA)
	PET TURF- SYNTHETIC PET TURF (IRRIGATED FOR CLEANING)

KEYNOTES	
TAG	DESCRIPTION
1	6" TUBE STEEL PERIMETER FENCING
2	3'-4" TUBE STEEL A.B.C. / OUTDOOR DINING PATIO FENCING & GATE
3	EXISTING TREE GRATE & STREET TREE - BASE BID ON REPLACING IN KIND // RE-USE IF POSSIBLE
4	PROPOSED NEW TREE GRATE & STREET TREE (5X5)
5	PET CLEAN UP STATION

SITE ITEMS	
TAG	DESCRIPTION
A	EXISTING CURB AND GUTTER TO REMAIN (NO PARKING)
B	ABOVE GROUND UTILITIES
C	STAIRS, LANDING, AND WALL FOR PEDESTRIAN ACCESS
D	EXISTING STREET LIGHT

LANDSCAPE GENERAL NOTES

REGULATIONS:

- ALL IMPROVEMENTS SHALL CONFORM TO THE GOVERNING (SALT LAKE CITY) STANDARDS AND SPECIFICATIONS.
- TREE PLANTING IN PUBLIC R.O.W. REQUIRES APPROVAL FROM SLC URBAN FORESTRY
- CONTRACTOR SHALL CALL BLUE STAKES OF UTAH TO VERIFY AND NOTE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR FINAL LOCATION OF ALL UTILITIES. CONTRACTOR IS LIABLE FOR DAMAGES TO EXISTING INFRASTRUCTURE AND NEW IMPROVEMENTS

EXISTING CONDITIONS:

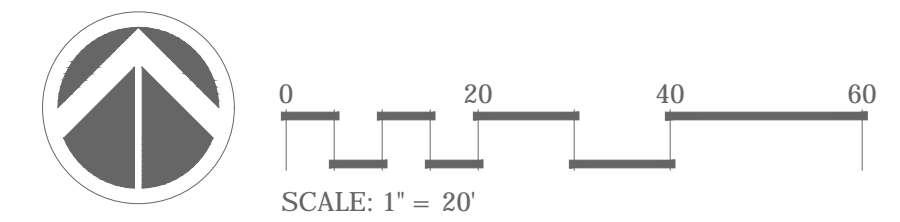
- CONTRACTOR SHALL VERIFY ALL PLANS WITH EXISTING CONDITIONS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES, CHANGES, OR ISSUES TO THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK
- ALL UTILITIES ARE SHOWN FOR REFERENCE ONLY. CIVIL PLANS SHALL TAKE PRECEDENCE AND IT IS THE RESPONSIBILITY AND LIABILITY OF THE ACTING CONTRACTOR TO PROTECT AND REPAIR ANY DAMAGES TO UTILITIES.

SITE PREPARATION:

- ALL LANDSCAPE AREAS TO HAVE WEEDS REMOVE AND GRUBBED
- APPLY, AS NEEDED, CERTIFIED APPLICATIONS OF HERBICIDE
- POSITIVE DRAINAGE IS TO BE MAINTAINED AWAY FROM ALL STRUCTURES
- ENGINEERING PLANS SHALL TAKE PRECEDENCE

SOIL:

- MINIMUM OF 12" OF TOPSOIL IS REQUIRED IN ALL PLANTING AREAS
- MINIMUM OF 4" OF TOPSOIL IS REQUIRED IN ALL TURF PLANTING AREAS
- PLANTING HOLES SHALL BE DUG 2X AS WIDE AS ROOTBALL OF VEGETATION
- BACKFILL FOR SHRUB AND TREE PLANTINGS SHALL BE 80% TOPSOIL/ 20% HUMUS MATERIAL
- SOILS REPORT SHALL TAKE PRECEDENCE
 - TOPSOIL STANDARDS
 - SAND - 20%-70%
 - CLAY - 20%-70%
 - #10 SIEVE @ 15% MAXIMUM
 - PH 6 TO 8.5



PROJECT: **SLC - CINQ**
SALT LAKE CITY, UT



OWNER:

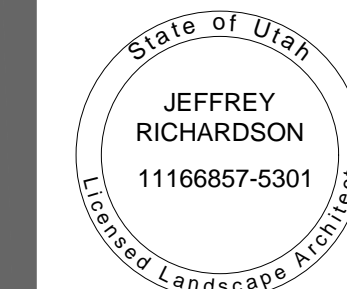
DATE: 9.24.2020
PROJECT: COM-20.10
REVIEWED: JDR

REVISIONS:

TITLE:
LANDSCAPE SITE PLAN

SHEET:
L1-01

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PROJECT: SLC - CINQ
SALT LAKE CITY, UT

OWNER:



DATE: 9.24.2020

PROJECT: COM-20.10

REVIEWED: JDR

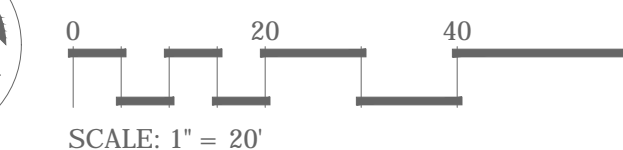
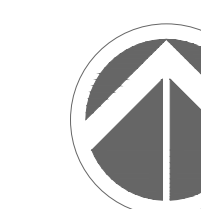
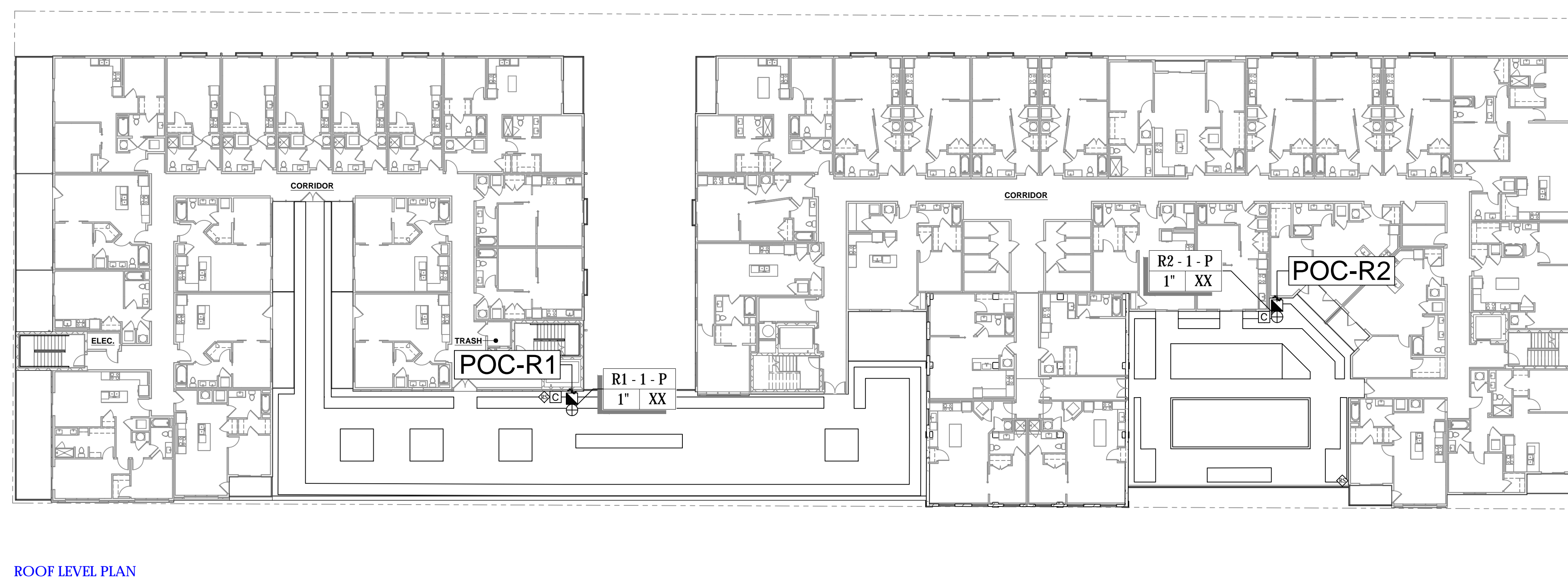
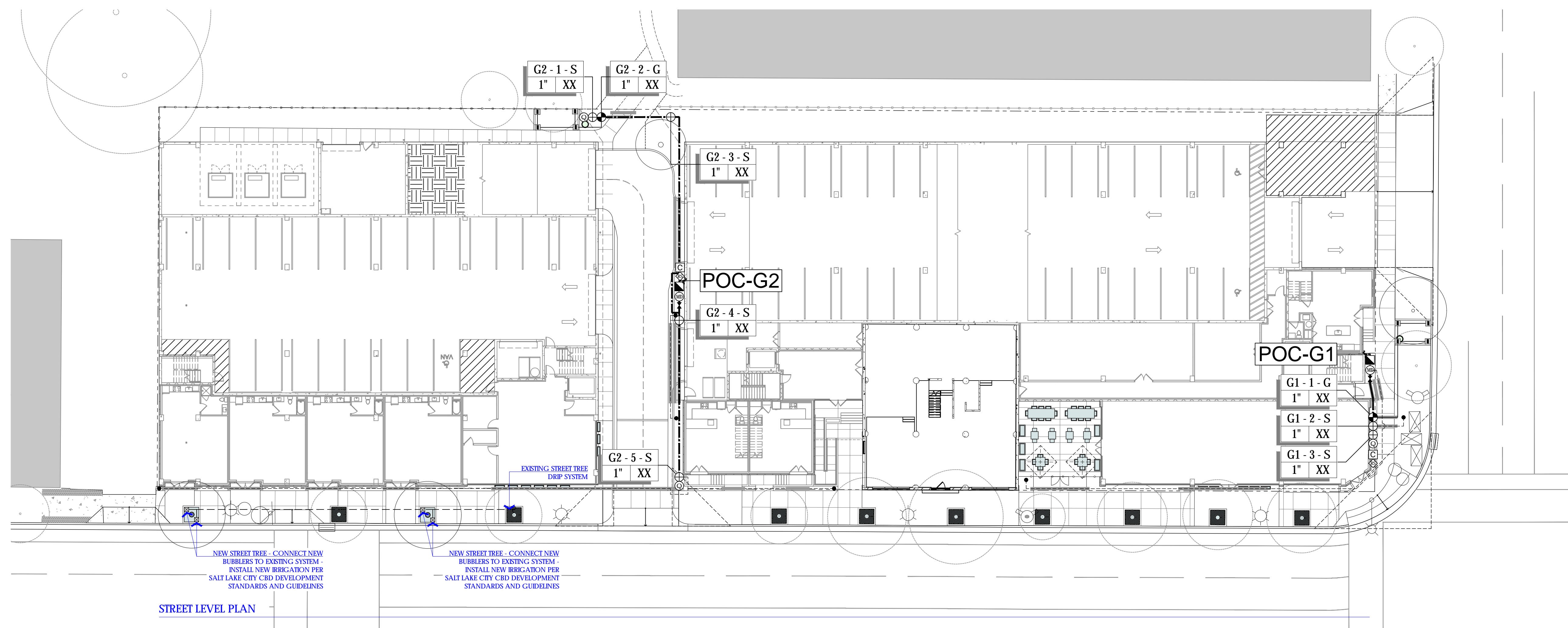
REVISIONS:

TITLE:

IRRIGATION PLAN

















SHEET:

L2-01



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IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MFR	MODEL NO.	COMMENTS	DETAIL
POC-G#	IRRIGATION POINT OF CONNECTION	NA	3/4" Type K Copper Stub (By Others)	Refer to Plumbing Plans	
POC-R#	IRRIGATION POINT OF CONNECTION	NA	3/4" Type K Copper Stub (By Others)	Refer to Plumbing Plans	
	BACKFLOW PREVENTER	FEBCO	3/4" Reduced Pressure Backflow Preventer (825YA) WYE Strainer	In Guardshack Security Enclosure	IR2.00/1
	IRRIGATION CONTROLLER	RAINBIRD	ESP4ME	Wall mount X valves	
	RAIN SENSOR	RAINBIRD	Rain/Freeze Sensor (WR2)	Wireless Mount on building fascia	
	GATE VALVE	WATTS	Carson 910 Round Valve Box WGV-X Bronze Gate Valve	Size per line size	
	QUICK COUPLER	RAINBIRD	Carson Standard Valve Box (1419) 1" Quick Coupler (44-LRC)		
	MANUAL DRAIN VALVE	WATTS	Carson 910 Round Valve Box WGV-X Bronze Gate Valve		
	VALVE ASSEMBLY DRIP	RAINBIRD	Carson 1220 Jumbo Valve Box 3/4" Sch. 80 PVC Ball Valve 1" Drip Zone Control Kit (XCZ-100-PRB-COM)		
	VALVE ASSEMBLY TURF	RAINBIRD	Carson 1220 Jumbo Valve Box 3/4" Sch. 80 PVC Ball Valve 1" Control Valve (100-PESB) 3/4" Pressure Regulating Filter (PRF-075)	Pressure Regulating Filter to be installed upstream of control valve	
	TURF ROTARY SPRAY	RAINBIRD	RVAN-14 1806-SAM-P45 8'-14" Hand Adjustable Rotary Stream, w/1800 turf spray body on 6.0" pop-up. With Seal-A-Matic Check valve and 30 psi in-stem pressure regulator	Rotator nozzle on 1800 RD06-P30-S body. Matched Precipitation rate @ 0.6"/hr @ 30 psi	
	ROOTZONE BUBBLER	RAINBIRD	RWS-B-C-P-SOCK	Connected to existing tree drip system	
	PVC SLEEVING	NA	Class 160 PVC		
	SERVICE LINE	NA	3/4" Type K Copper		
	PVC MAINLINE	NA	3/4" Class 200 PVC	Unless otherwise noted on plan	
	TURF LATERAL	NA	3/4" Sch 40 PVC	Unless otherwise called out on plan	
	DRIP LATERAL	NA	3/4" Polyethylene Drip Tubing	Unless otherwise called out on plan	
	END CAP	NA	Carson 910 Round Valve Box Poly Hose End Flush Cap		

VALVE CALLOUTS		EMITTER SCHEDULE		
POC Number	Valve / Station Number	PLANT TYPE	EMITTER RATE	# OF EMITTERS
G/R# - # - X	Zone Designation: T (Tree), S (Shrub), P (Planters), G (Turf)	1 GAL PLANTS	0.5 GPH	ONE EACH
X"	Valve Flow: (GPM)	5 GAL PLANTS	0.5 GPH	TWO EACH
XX	Valve Size	TREES	1.0 GPH	SIX EACH
		PLANTER	RB SXB-180-SPKY	PER CONTRACTOR

NOTES

- ALL PLANTERS SHALL BE IRRIGATED W/ RAIN BIRD SXB-180-SPYK, ADJUSTABLE BUBBLER.
- ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XB BARBED PRESS-ON TYPE SINGLE-PORT PRESSURE COMPENSATING EMITTERS.
- 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.
- RAIN BIRD DBC-025 DIFFUSER BUG CAP AND TS-025 STAKE ON ALL 1/4" DISTRIBUTION TUBING.

IRRIGATION POINT OF CONNECTION NOTES

- POINT OF CONNECTION - STREET LEVEL:** THERE ARE TWO (2) POINTS OF CONNECTION ON THE STREET LEVEL OF THIS PROJECT. PLUMBING CONTRACTOR IS PROVIDING WATER CONNECTION AND WILL PROVIDE A COPPER STUB TO THE EXTERIOR. IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR LOCATION AND CONNECTION
 - POC-G1 & POC-G2: LOCATE AND CONNECT TO THE 3/4" TYPE K COPPER STUB (PROVIDED BY OTHERS), LOCATED AT THE EXTERIOR OF THE BUILDING IN APPROXIMATE LOCATION SHOWN, WITH 3/4" TYPE K COPPER PIPE AND EXTEND TO BACKFLOW PREVENTER. INSTALL ONE FEBCO 825YA BACKFLOW PREVENTER IN A GUARDSHACK ENCLOSURE WITH A FROST BLANKET IN LANDSCAPE AREA. EXTEND 3/4" TYPE K COPPER PIPING, INSTALL ONE MANUAL DRAIN VALVE AND TRANSITION TO CL200 PVC. INSTALL ONE GATE VALVE AND EXTEND CL200 PVC TO VALVES AS SHOWN.
 - THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES, OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS ASSOCIATED WITH THIS WORK. FINAL LOCATION OF EXTERIOR CONNECTION AND EQUIPMENT SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- POINT OF CONNECTION - ROOF LEVEL:** THERE ARE TWO (2) POINTS OF CONNECTION ON THE ROOF LEVEL OF THIS PROJECT. PLUMBING CONTRACTOR IS PROVIDING WATER CONNECTION AND WILL PROVIDE A COPPER STUB TO THE EXTERIOR. IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR LOCATION AND CONNECTION
 - POC-R1, POC-R2: LOCATE AND CONNECT TO THE 3/4" TYPE K COPPER STUB (PROVIDED BY OTHERS), LOCATED AT THE EXTERIOR OF THE BUILDING IN APPROXIMATE LOCATION SHOWN, WITH 3/4" TYPE K COPPER PIPE AND EXTEND TO BACKFLOW PREVENTER. INSTALL ONE FEBCO 825YA BACKFLOW PREVENTER IN A WALL MOUNT GUADSHACK ENCLOSURE WITH A FROST BLANKET. TRANSITION TO 3/4" CL200 PVC AT DOWNSTREAM SIDE OF BACKFLOW PREVENTER AND INSTALL WALL MOUNTED VALVE(S) AS SHOWN (SEE SHEET XX, DETAIL XX). EXTEND LATERALS TO PLANTERS.
 - THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES, OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS ASSOCIATED WITH THIS WORK. FINAL LOCATION OF EXTERIOR CONNECTION AND EQUIPMENT SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTROLLER LOCATION:** THERE ARE FIVE (5) CONTROLLERS ON THIS PROJECT: TWO (2) CONTROLLERS ON THE STREET LEVEL AND THREE (3) ON THE ROOF LEVEL. EACH CONTROLLER WILL BE WALL MOUNTED ON BUILDING IN PROXIMITY TO EACH OF THE POINTS OF CONNECTION AS INDICATED ON THE PLANS. CONNECTION TO 120 VOLT POWER, ALL NECESSARY CONDUIT AND ALL RELATED EQUIPMENT SHALL CONFORM TO LOCAL CODES. REFER TO ELECTRICAL AND ARCHITECTURAL PLANS AND COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR ADDITIONAL INFORMATION REGARDING ELECTRICAL SERVICE AND FINAL LOCATION FOR THE CONTROLLER.
- SENSOR:** MOUNT THE RAIN/FREEZE SENSOR FOR EACH CONTROLLER ON THE FASCIA OF THE WALL OF THE BUILDING. SENSOR SHALL BE MOUNTED IN LOCATION IN FULL SUN, OPEN TO RAINFALL AND AWAY FROM HEAT SOURCES. SENSOR SHALL BE LOCATED NO MORE THAN 500' (LINE OF SIGHT) FROM THE CONTROLLER. MOUNT THE RECEIVER ADJACENT TO OR ON THE SIDE OF THE CONTROLLER PRIOR TO SENSOR INSTALLATION. SENSOR SHALL BE SET TO TURN OFF AT 1/4" RAINFALL.
- SYSTEM PRESSURE:** THIS SYSTEM HAS BEEN DESIGNED FOR A REQUIRED MINIMUM STATIC PRESSURE OF 30 PSI AND A MAXIMUM SAFE FLOW OF 8 GPM. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE OPERATING PRESSURE IN THE FIELD AT THE POINT OF CONNECTION BEFORE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF DEFICIENT EQUIPMENT, LOW PRESSURE OR LOW FLOW CONDITIONS ARE ENCOUNTERED. IF THE CONTRACTOR FAILS TO NOTIFY OWNER'S REPRESENTATIVE OF SUCH DISCREPANCIES, THEN THE CONTRACTOR

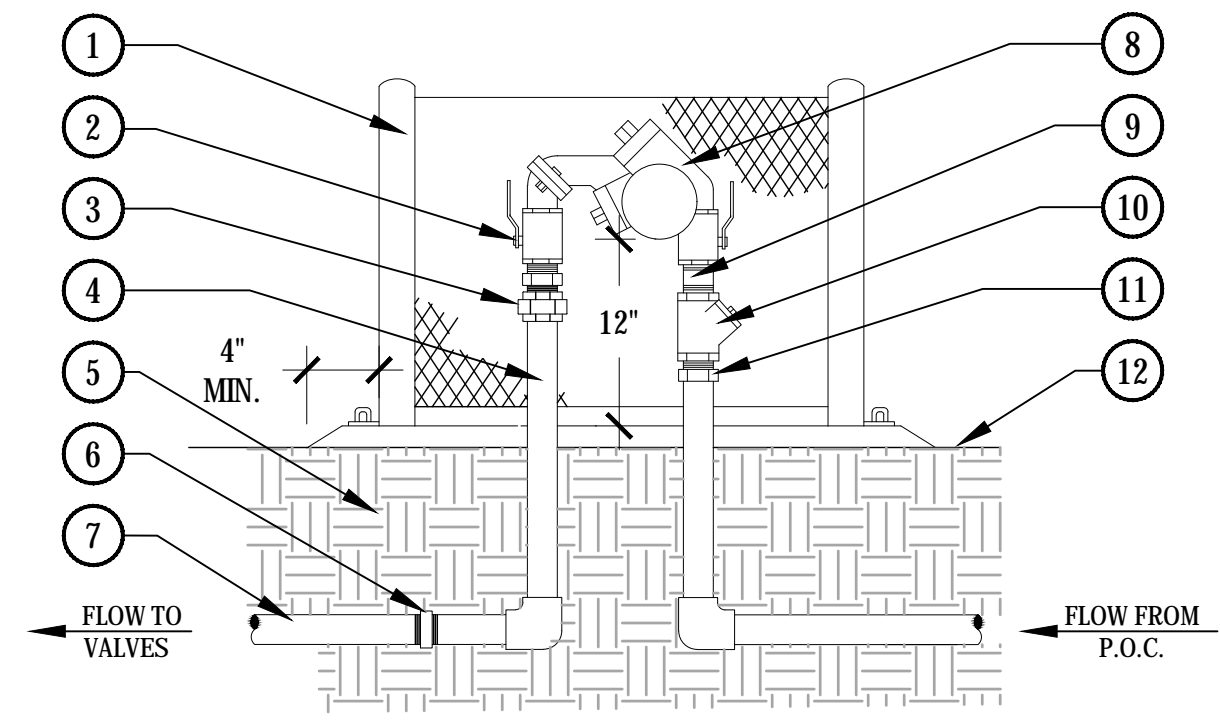
IRRIGATION SLEEVING NOTES

- INSTALLATION OF SLEEVING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SLEEVES SHALL BE INSTALLED PRIOR TO THE START OF PAVING OPERATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR FOR LOCATION AND SIZING OF SLEEVES PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL SLEEVE ALL IRRIGATION DISTRIBUTION LINES, VALVE CONTROL WIRES AND COMMUNICATION WIRES, UNDER ALL PAVED SURFACES, WALL FOOTERS, DRAINAGE CHANNELS, INLETS, CATCH BASINS, ETC.
- ALL SLEEVES SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND EDGE OF ALL OBSTRUCTIONS. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER ANY OBSTRUCTIONS.
- SLEEVING SHALL BE INSTALLED PER THE SIZES AND QUANTITIES SHOWN ON THE PLANS BASED ON THE CHART BELOW. ALL MAINLINE, VALVE CONTROL AND COMMUNICATION WIRES, LATERALS AND 3/4" POLYETHYLENE DRIP TUBING UNDER PAVED SURFACES ARE TO BE INSTALLED IN SEPARATE SLEEVING.

SLEEVED PIP	SIZE/WIRE QTY	REQUIRED SLEEVE SIZE AND QTY.
3/4"-1" PIPING		2" PVC (1)
1-50 CONTROL WIRES		2" PVC (1)

IRRIGATION NOTES

- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
- THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING OWNER'S REPRESENTATIVE.
- ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL PLAN, ARCHITECTURAL PLANS, ELECTRICAL PLANS, GRADING AND DRAINAGE AND ALL ASSOCIATED PLANS THAT AFFECT THIS WORK PRIOR TO BEGINNING CONSTRUCTION. IF THE CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS TO INSTALL THE IRRIGATION SYSTEM AND ITS COMPONENTS PER THE MANUFACTURER'S SPECIFICATIONS AS SHOWN ON THESE DOCUMENTS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY AND ALL LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES THROUGH THE COURSE OF HIS WORK, THE CONTRACTOR SHALL PAY FOR ANY/AND ALL REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
- IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN THE PROJECT LIMITS AND WITHIN LANDSCAPE AREAS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHICAL CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO INSURE PROPER LOCATION AND OPERATION OR THE IRRIGATION SYSTEM AND ITS COMPONENTS.
- PLANT MATERIAL LOCATIONS TAKE PRECEDENCE OVER IRRIGATION LINES. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- IF IRRIGATION SLEEVING IS REQUIRED A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN BANKS OF SLEEVES USED FOR OTHER ON-SITE UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE ADEQUATE VERTICAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED) CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
- ALL VALVE BOXES / LIDS SHALL BE PLASTIC, COLOR TAN, WITH LOCKING COVERS, PER THE CONSTRUCTION DETAILS. UNDER NO CIRCUMSTANCES ARE VALVE BOXES TO BE LOCATED IN THE TURF AREAS. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 1'-0" FROM THE EDGE OF PAVED SURFACES AND 3'-0" FROM THE CENTERLINE OF DRAINAGE SWALES OR RETENTION BASINS. THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO BE FLUSH FINISH GRADE AS PER THE CONSTRUCTION DETAIL.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF DRIP IRRIGATION LINES PRIOR TO INSTALLATION OF PLANT MATERIAL WITH THE OWNER'S REPRESENTATIVE.
- LAYOUT EMITTER TUBING PARALLEL TO TOPOGRAPHY WHEREVER POSSIBLE. INSTALL FLUSHABLE TYPE END CAP AT ENDS OF ALL 3/4" PVC DRIP LATERALS AND FLUSH THOROUGHLY BEFORE INSTALLING EMITTERS.
- TREES, SHRUBS, AND GROUNDCOVER SHALL BE IRRIGATED BY PRESSURE REGULATING, SINGLE OUTLET EMITTERS, SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION.
- PLANTERS SHALL BE IRRIGATED BY ADJUSTABLE BUBBLER, SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION. CONTRACTOR TO DETERMINE QUANTITY AND SPACE EVENLY IN PLANTER.
- THE CONTRACTOR SHALL FINE TUNE / ADJUST THE IRRIGATIONS SYSTEM TO AVOID /REDUCE OVER-SPRAY ONTO HARD SURFACES BY ADJUSTING NOZZLE DIRECTION AND NOZZLE RADIUS.
- THE CONTRACTOR SHALL EXTEND THREE SPARE CONTROL WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM THE CONTROLLER TO THE END OF THE MAINLINE OR AS SHOWN ON THE PLANS. INSTALL SPARE WIRES IN A 10" ROUND VALVE BOX WITH A QUICK COUPLING VALVE. USE ONLY #14 OR #12 (WHEN NECESSARY) DIRECT BURY COPPER WIRE FOR ALL UNDERGROUND WIRING.
- GROUNDING FOR THE IRRIGATION CONTROLLER IS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT www.askc.org/Design_Guides.aspx. CONTACT THE MANUFACTURER FOR ADDITIONAL TECHNICAL ASSISTANCE.

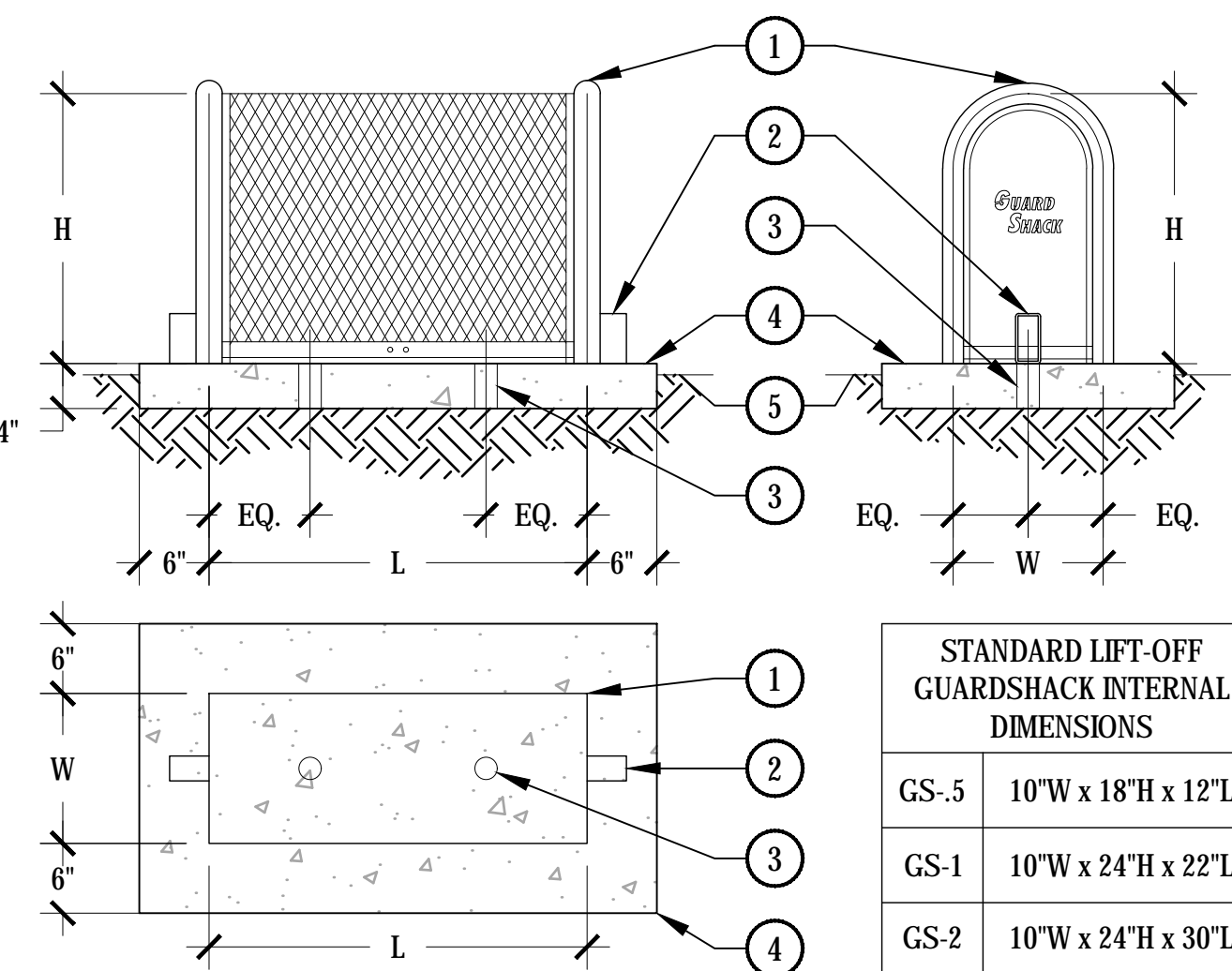


- 1 BACKFLOW ENCLOSURE # GS-1
- 2 BALL VALVE
- 3 BRASS UNION
- 4 TYPE K COPPER PIPE
- 5 COMPACTED SUBGRADE
- 6 PVC ADAPTOR 30" BEYOND UNIT
- 7 PVC MAINLINE
- 8 REDUCED PRESSURE BACKFLOW PREVENTER WITH BALL VALVES
- 9 BRASS NIPPLE
- 10 BRASS WYE STRAINER (100 MESH)
- 11 COPPER ADAPTER
- 12 FINISH GRADE

NOTE:
 1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE PVC PIPE PROTECTION AROUND COPPER SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB BASE.
 3. BACKFLOW PREVENTION DEVICES SHALL BE PLACED A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
 4. PROVIDE THRUST BLOCKS FOR LINES 2-1/2" OR LARGER.

1 BACKFLOW PREVENTER

SCALE: NTS

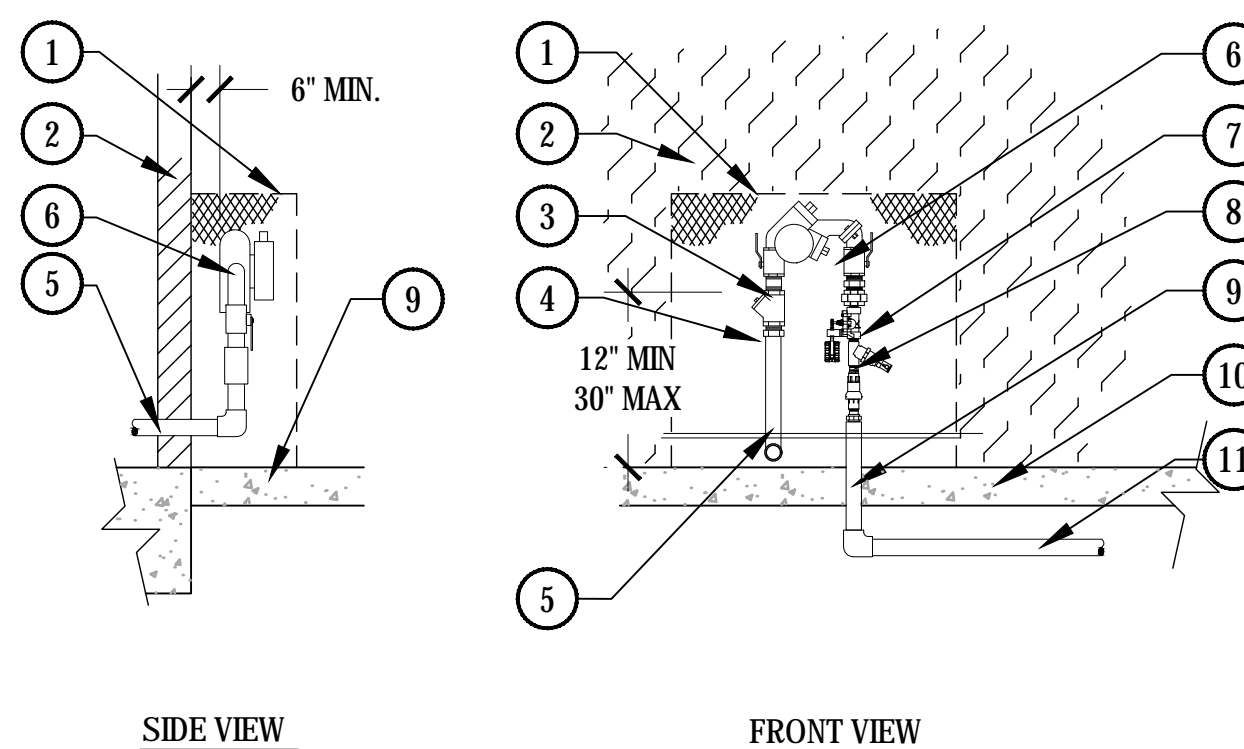


- 1 LIFT-OFF GUARDSHACK ENCLOSURE
- 2 LOCK SHIELD
- 3 HOLES FOR INFLOW AND OUTFLOW PIPES OF BACKFLOW PREVENTER
- 4 CONCRETE PAD - PAD TO BE 6" LARGER ON ALL SIDES THAN INTERIOR DIMENSIONS OF GUARDSHACK ENCLOSURE
- 5 FINISH GRADE

STANDARD LIFT-OFF GUARDSHACK INTERNAL DIMENSIONS	
GS-5	10"W x 18"H x 12"L
GS-1	10"W x 24"H x 22"L
GS-2	10"W x 24"H x 30"L

2 LIFT-OFF GUARDSHACK ENCLOSURE

SCALE: NTS

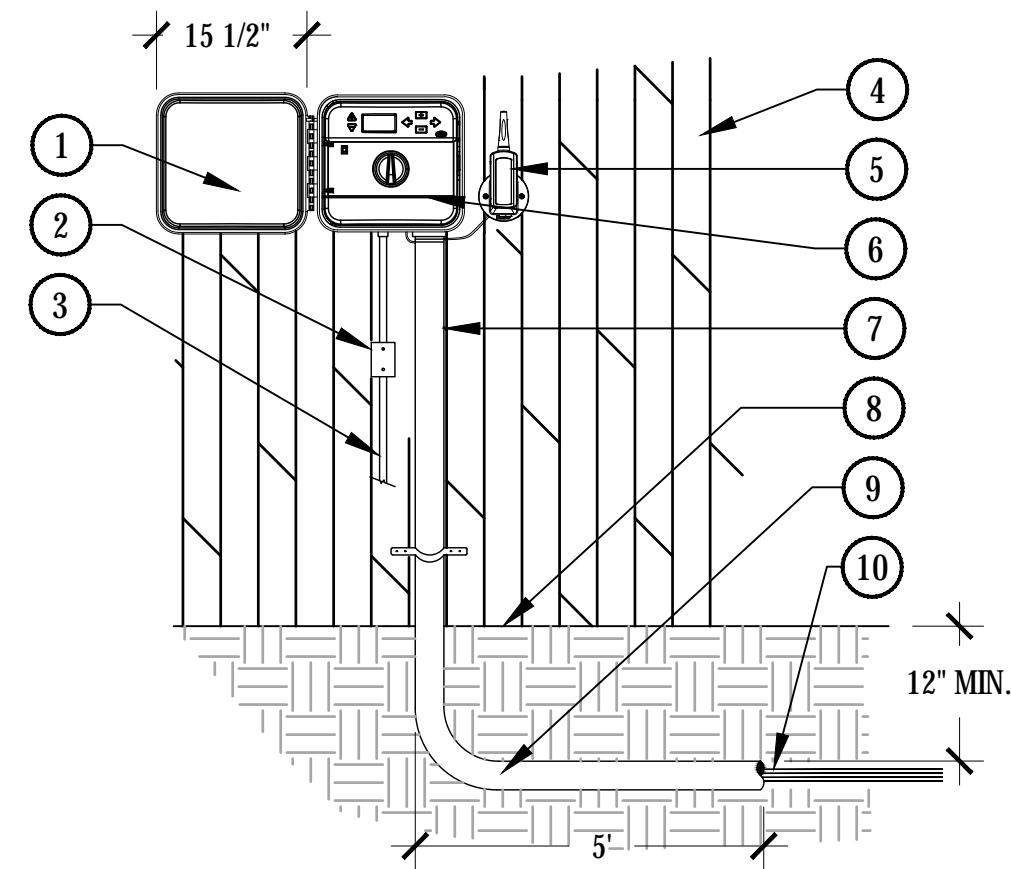


- 1 GUARDSHACK CUSTOM WALL ENCLOSURE
- 2 BUILDING WALL
- 3 BRONZE BALL VALVE BOTH SIDES
- 4 Y-STRAINER W/ 80-MESH SCREEN
- 5 3/4" COPPER SERVICE LINE RE: PLUMBING
- 6 REDUCED PRESSURE BACKFLOW PREVENTER 'O' OUTLET' CONFIGURATION
- 7 SXS BRONZE UNION
- 8 DRIP CONTROL VALVE w/ BATTERY CONTROLLER DC LATCHING SOLENOID PER SCHEDULE
- 9 PROVIDE PVC SLEEVE AND FLEXIBLE WATERPROOF SEAL AT ALL PAVING PENETRATIONS
- 10 STRUCTURAL SLAB
- 11 TYPE K COPPER PIPE TO PLANTING AREAS. UNDER SLAB PIPING TO BE INSTALLED BY PLUMBING CONTRACTOR.

NOTE:
 1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE PVC PIPE PROTECTION AND FLEXIBLE WATERPROOF SEALANT AROUND SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB.
 3. ALL BOLTS FOR MOUNTING BRACKETS SHALL BE ZINC PLATED TAMPER PROOF.
 4. PRODUCT AVAILABLE FROM GUARDSHACK 3831 E. GROVE ST. PHOENIX, AZ 85040 PH: (602) 426-1002 EXT. 422 FX: (602) 426-1005

3 BACKFLOW PREVENTER AT ROOF DECKS

SCALE: NTS

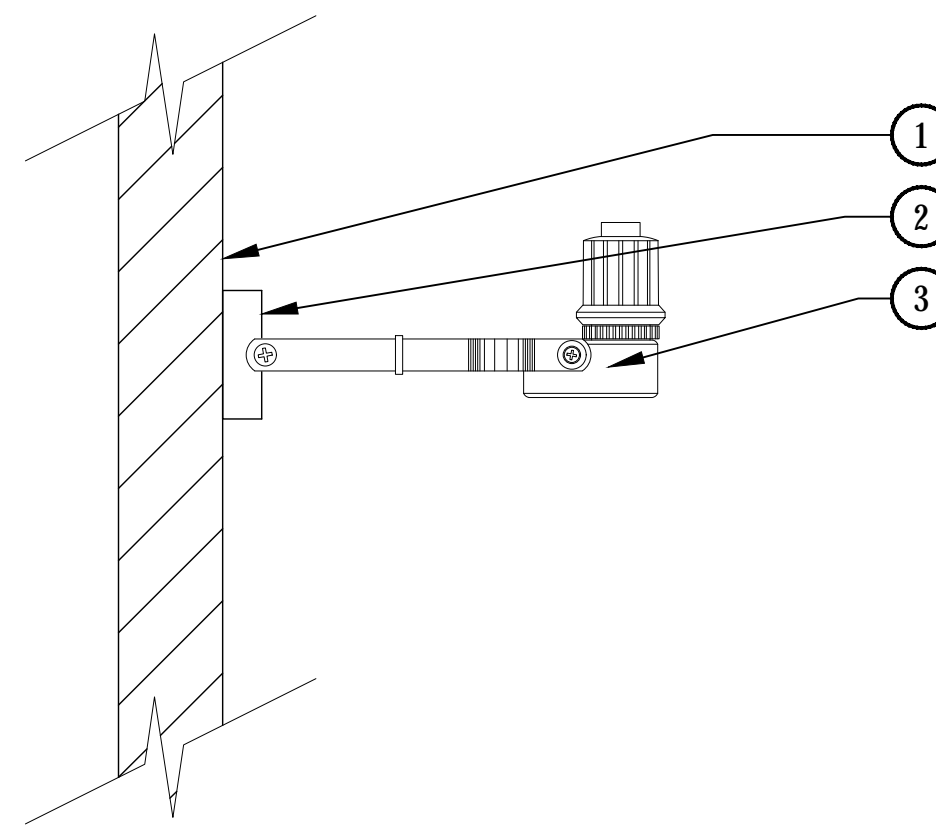


- 1 CONTROLLER PER SCHEDULE MOUNT AT EYE-LEVEL W/ CLEARANCE FOR DOOR OPENING. PER MANUFACTURER'S RECOMMENDATIONS
- 2 DISCONNECT JUNCTION BOX
- 3 CONNECT PER LOCAL CODE TO EXISTING POWER SOURCE IN STEEL CONDUIT (BY OTHERS)
- 4 BUILDING WALL
- 5 WIRELESS SENSOR RECEIVER MOUNTED ON THE WALL NEXT TO THE CONTROLLER
- 6 SENSOR MODULE IS PROVIDED IN CONTROLLER
- 7 RIGID STEEL CONDUIT W/ CONTROL WIRES TO VALVES AND GROUNDING
- 8 FINISH GRADE
- 9 CONDUIT TO EXTEND 5 FT. BEYOND WALL
- 10 UF DIRECT BURIAL WIRE TO REMOTE CONTROL VALVES.

NOTE:
 1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 2. ALL ELECTRICAL MATERIALS SHALL BE U.L. APPROVED FOR USE AS SHOWN.
 3. GROUND CONTROLLER PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 4. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
 5. PROVIDE LOCK AND KEY FOR ENCLOSURE.

4 WALL MOUNT IRRIGATION CONTROLLER

SCALE: NTS

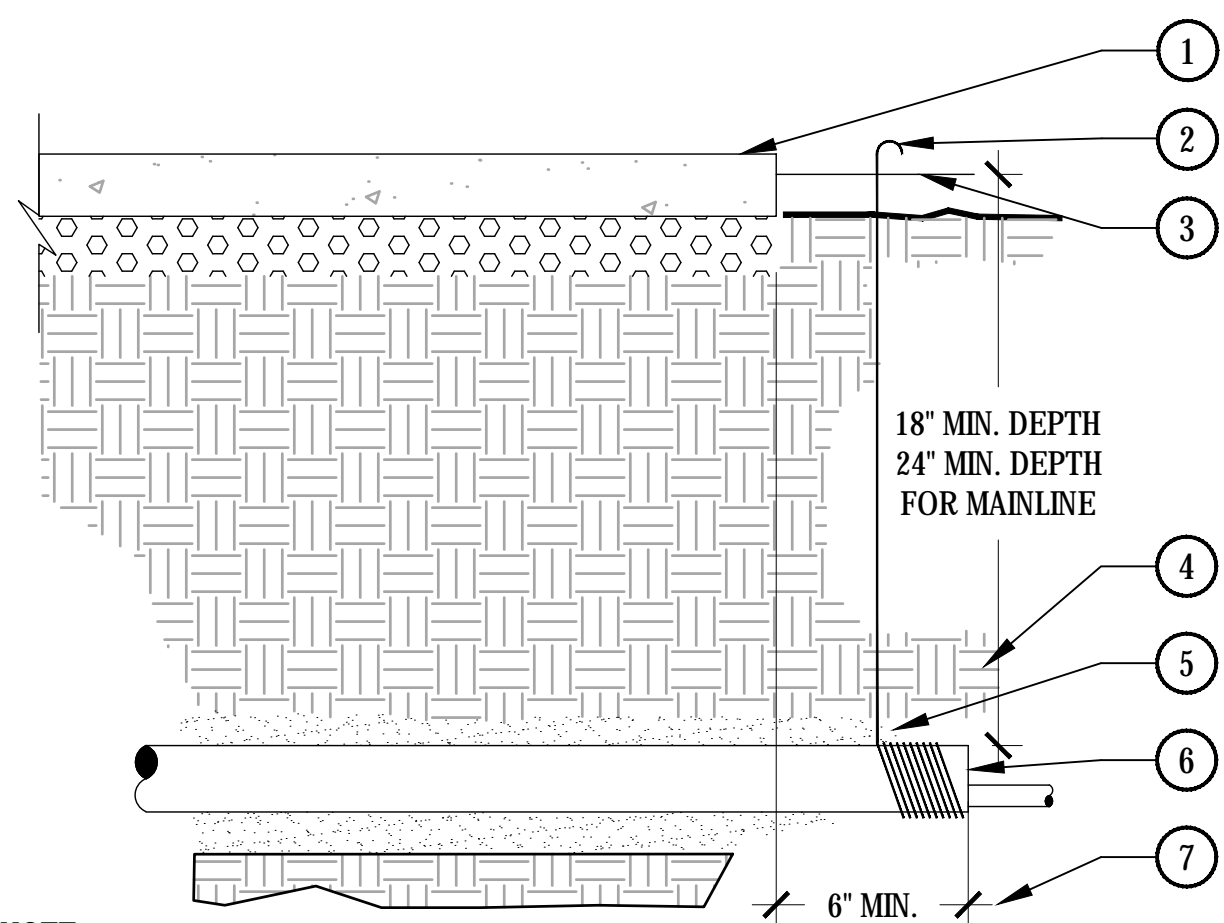


- 1 SUITABLE FASCIA, WALL, OR GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN AND IS OPEN TO RAINFALL.
- 2 SECURE TO EXTERIOR WALL.
- 3 WIRELESS RAIN SENSOR, LOCATE WITHIN 200' OF THE CONTROLLER.

NOTE:
 1. INSTALL SENSOR PER MANUFACTURER'S SPECIFICATIONS.
 2. FINAL LOCATION AND MOUNTING SYSTEM TO BE APPROVED BY OWNERS REPRESENTATIVE.

5 RAIN SENSOR

SCALE: NTS

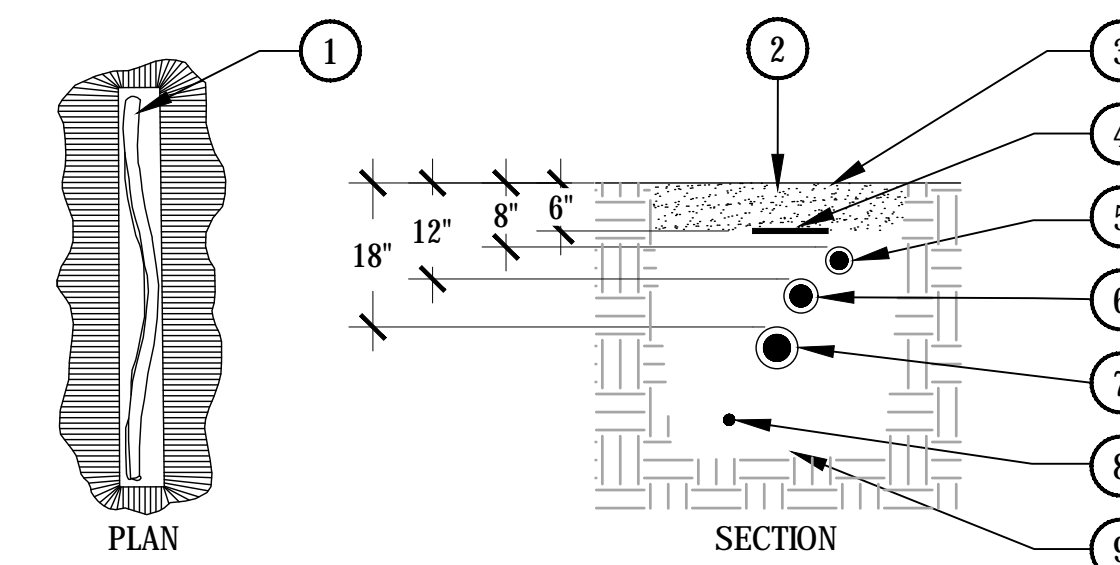


- 1 PAVING
- 2 WRAP 12 GAUGE GALVANIZED WIRE AROUND EACH END OF SLEEVE (10 WRAPS MIN.) AND EXTEND TO SURFACE AS A LOCATING DEVICE.
- 3 FINISH GRADE / TOP OF DG.
- 4 COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL.
- 5 WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL CONDITIONS.
- 6 PVC SLEEVE PER SCHEDULE. TWICE DIAMETER OF THE SUM OF THE PIPES/ WIRES
- 7 EXTEND SLEEVES 6" BEYOND EDGES OF PAVING

NOTE:
 1. ALL SLEEVES SHALL BE INSPECTED PRIOR TO BACKFILLING.
 2. CAP SLEEVES UNTIL USE.
 3. MULTIPLE SLEEVES REQUIRE 4" HORIZONTAL SEPARATION WITHIN SAME SLEEVE TRENCH.
 4. IRRIGATION PIPE AND WIRE SHALL NOT SHARE THE SAME SLEEVE.
 5. MARK / STAMP - 'X' AND/OR INSTALL PLACARD AT BACK OF CURB.

6 IRRIGATION SLEEVE

SCALE: NTS

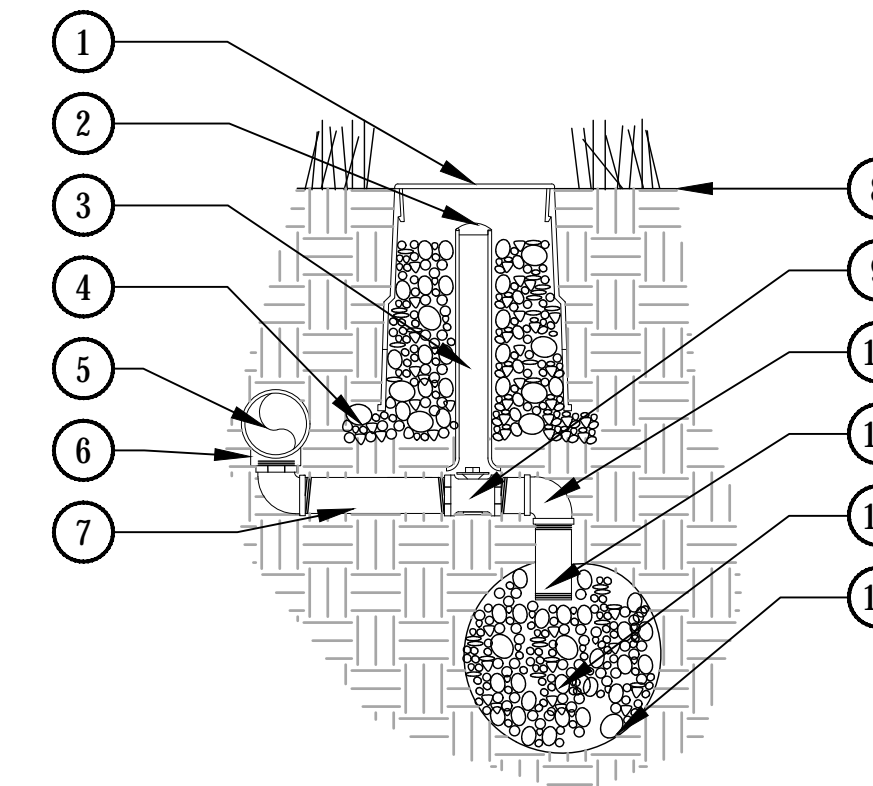


- 1 PVC PIPE IN TRENCH
- 2 EXCAVATED COVER MATERIAL (SEE NOTES)
- 3 FINISH GRADE
- 4 INDICATOR TAPE
- 5 PVC DRIP LATERAL (8" MIN. COVERAGE, 24" MIN. COVERAGE BELOW PEDESTRIAN WALKS.)
- 6 PVC TURF LATERAL
- 7 PVC IRRIGATION MAINLINE
- 8 VALVE WIRING
- 9 BEDDING MATERIAL (SEE NOTES)

NOTE:
 1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN IN PLAN VIEW ABOVE.
 3. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES.
 4. ALL ELECTRICAL WIRE CONNECTIONS TO VALVES AND SPLICES TO BE INSTALLED WITHIN A VALVE BOX AND MADE WITH DBY WATERPROOF CONNECTORS, OR APPROVED EQUAL.
 5. BUNDLE AND TAPE WIRING AT 10' INTERVALS
 6. VALVE WIRES TO BE INSTALLED WITHIN MAINLINE TRENCH WHEREVER POSSIBLE.
 7. BEDDING MATERIAL SHALL BE 1/4" MINUS SAND AND SHALL BE 3' BELOW LOWEST PIPE OR WIRE AND 3" ABOVE HIGHEST PIPE OR WEIR WITHIN TRENCH
 8. BEDDING MATERIAL SHALL BE IN MAINLINE TRENCH ONLY.
 9. BEDDING IS NOT REQUIRED IN POLYETHYLENE TUBING TRENCHES.
 10. EXCAVATED COVER MATERIAL SHALL BE FREE FROM DEBRIS AND ROCKS 1/2" OR GREATER.
 11. PIPE BEDDING MATERIAL TO BE ROCK AND DEBRIS FREE. BACKFILL IN 6' LIFTS, PUDDLE WITH WATER, BETWEEN LIFTS.

7 IRRIGATION TRENCH

SCALE: NTS

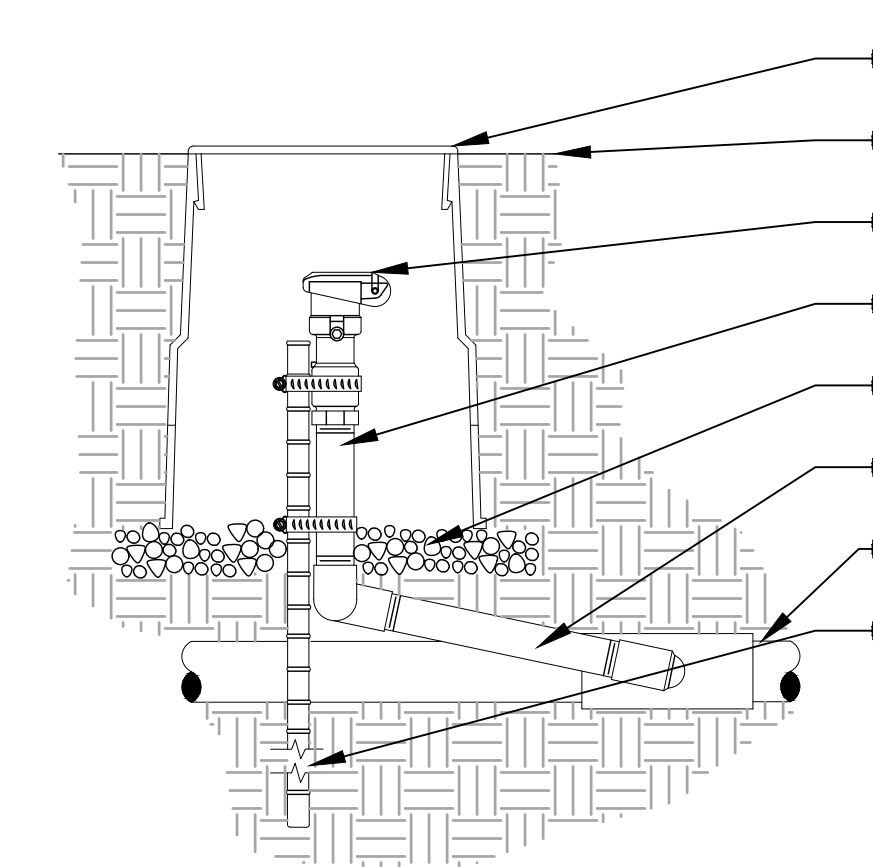


- 1 10" LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE.
- 2 2" VALVE MARKER
- 3 2" CL160 PVC ACCESS SLEEVE LENGTH AS REQUIRED.
- 4 3" DEPTH 3/4" CRUSHED GRAVEL 6" BEYOND EDGE OF BOX
- 5 PVC PRESSURE MAIN LINE
- 6 SCH. 80 TEE PER MAINLINE SIZE. ALIGN IN A DOWNWARD POSITION
- 7 SCH. 80 PVC NIPPLE
- 8 FINISH GRADE
- 9 1" BRONZE STOP VALVE WITH SLOTTED KEY OPERATOR
- 10 SCH. 80 PVC ELL
- 11 SCH. 80 PVC NIPPLE
- 12 3/4" GRAVEL SUMP - 1 CU. FT. MIN
- 13 SOIL BLANKET ENCLOSING SUMP AMOCO ENG. FABRIC 4545 - 4.5 OZ. OR EQUAL

NOTE:
 1. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.
 2. LOCATE DRAIN VALVE AT POINT OF CONNECTION AND AT ALL LOW POINT(S) ALONG THE IRRIGATION MAINLINE AS NEEDED.

8 MANUAL DRAIN VALVE

SCALE: NTS

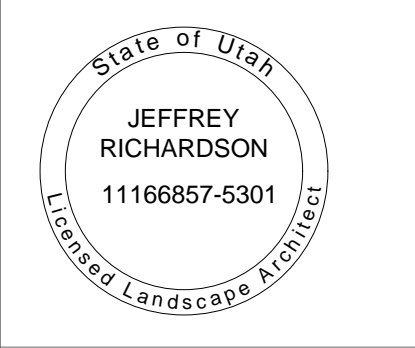


- 1 6" ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 2 FINISH GRADE
- 3 QUICK COUPLING VALVE W/ LOCKING COVER PER SCHEDULE
- 4 SCH. 80 NIPPLE
- 5 3" DEPTH 3/4" GRAVEL BASE EXTEND 6" BEYOND EDGE OF BOX
- 6 1" PVC SWING JOINT
- 7 PVC MAINLINE
- 8 24" #4 REBAR TO HOLD COUPLER IN PLACE W/ (2) STAINLESS STEEL CLAMPS

NOTE:
 1. EACH QUICK COUPLER SHALL BE IN A SEPARATE VALVE BOX
 2. PROVIDE (1) QUICK COUPLER KEY FOR EACH QUICK COUPLER VALVE.
 3. QUICK COUPLER SHALL HAVE YELLOW LOCKING RUBBER COVER
 4. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 5. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.

9 QUICK COUPLER

SCALE: NTS



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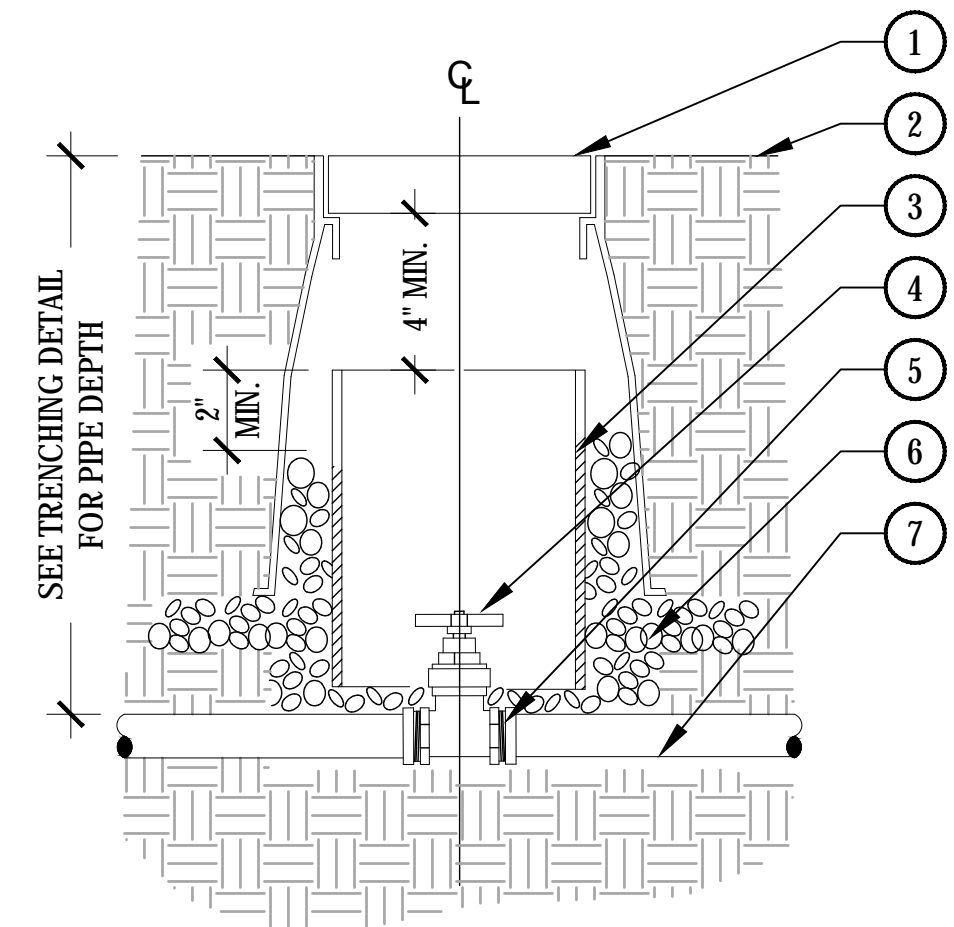
OWNER:
 DATE: 9.24.2020
 PROJECT: COM-20.10
 REVIEWED: JDR

REVISIONS:

TITLE:
 IRRIGATION DETAILS

SHEET:
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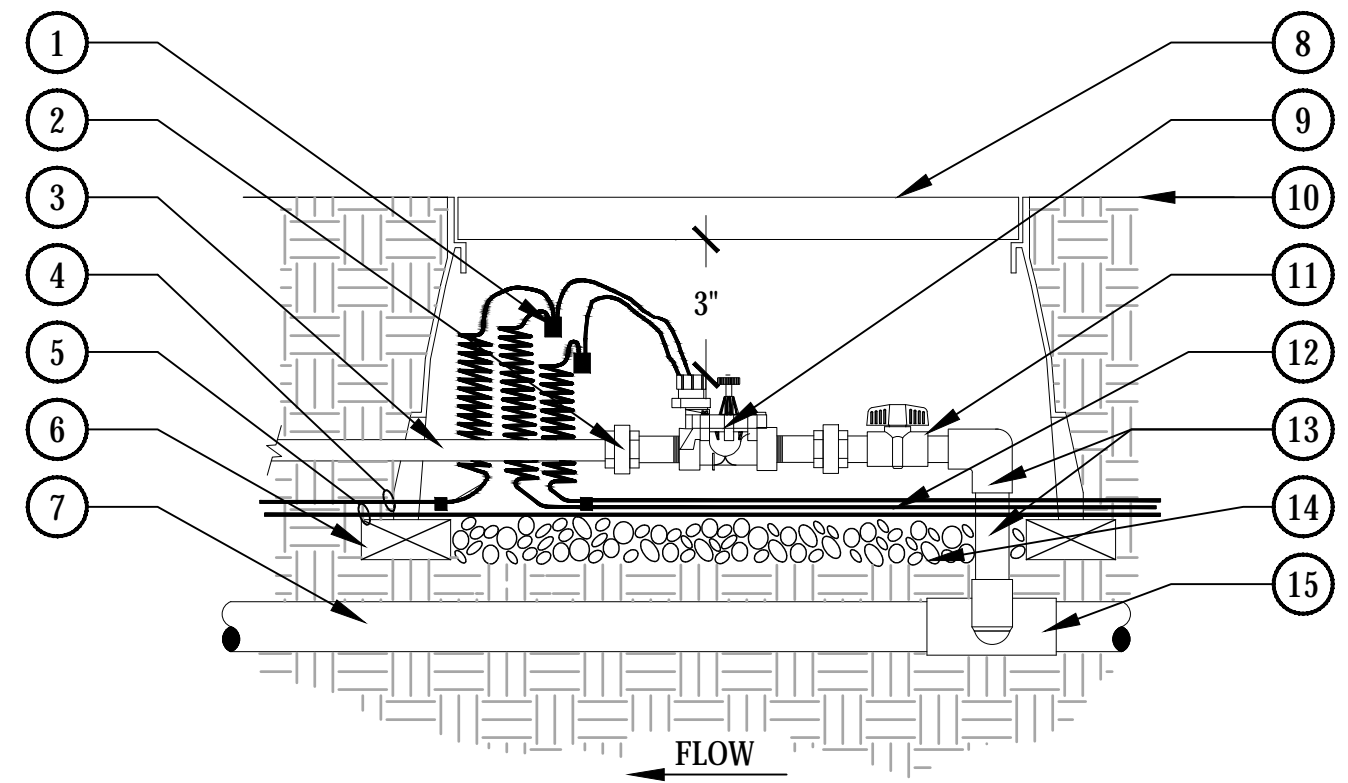
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- 1 LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 2 FINISH GRADE
- 3 2" CL160 PVC ACCESS SLEEVE LENGTH AS REQUIRED.
- 4 GATE VALVE W/ CROSS HANDLE AND SOLID WEDGE DISC PER SCHEDULE
- 5 THREADED MALE ADAPTER
- 6 3/4" GRAVEL SUMP FILL IN AND AROUND BOX AS REQUIRED. EXTEND 6" BEYOND EDGE OF BOX
- 7 PVC MAINLINE AS PER PLAN

NOTE:
 1. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. DO NOT REST VALVE BOX OR ACCESS SLEEVES ON MAINLINE OR LATERAL LINE.
 3. PROVIDE GATE VALVE KEY - LENGTH AS REQUIRED.

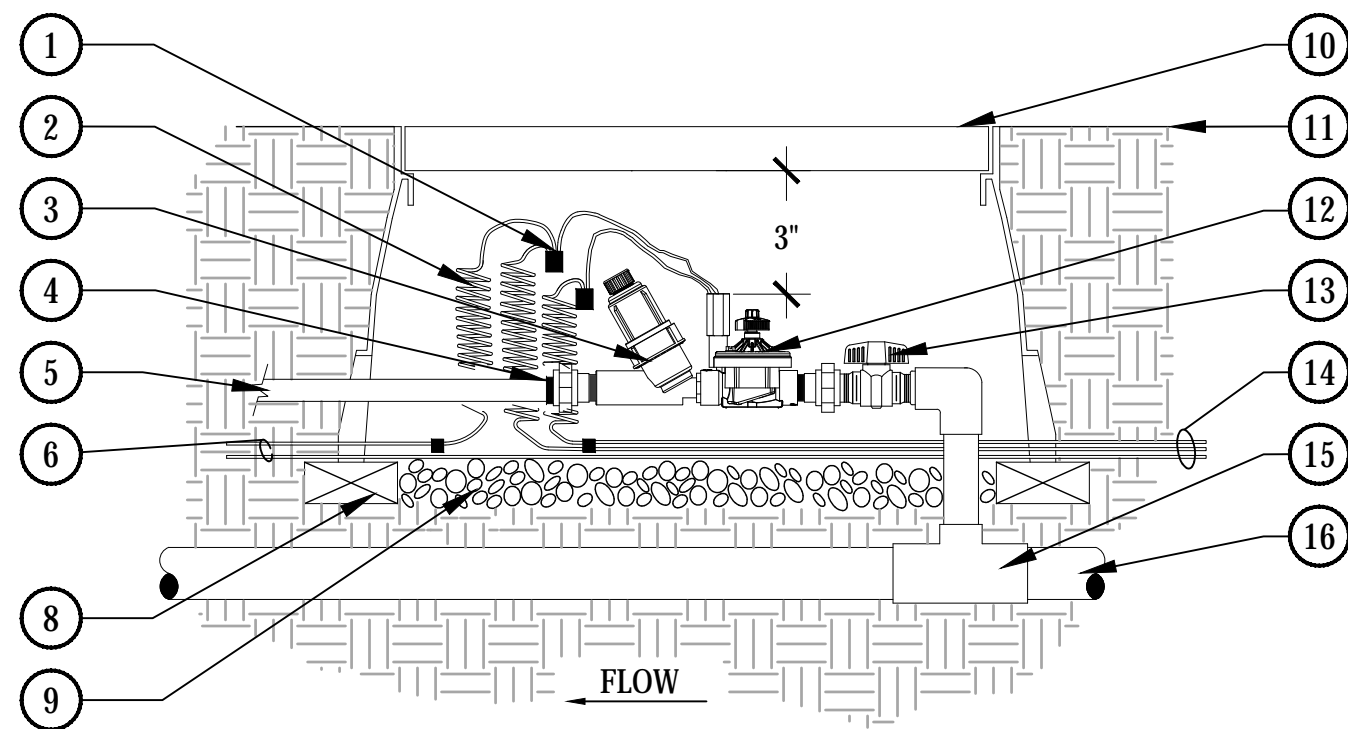
1 GATE VALVE SCALE: NTS



- 1 WATERPROOF CONNECTORS
- 2 (2) SCH. 80 PVC UNION SxS
- 3 PVC LATERAL
- 4 COMMON WIRE TO NEXT VALVE(S)
- 5 CONTROL WIRE TO NEXT VALVE(S)
- 6 BRICK SUPPORTS 4 MIN.
- 7 PVC MAINLINE
- 8 PLASTIC LOCKING VALVE BOX PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 9 VALVE ASSEMBLY
- 10 FINISH GRADE
- 11 PVC BALL VALVE SxS
- 12 WIRES FROM CONTROLLER
- 13 SCH. 80 ELL SxS
- 14 3/4" GRAVEL SUMP. 4" DEPTH
- 15 SCH. 80 TEE SxSxS

NOTE:
 1. BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH WATERPROOF SPLICING MATERIAL.
 2. 30" MIN. LENGTH OF CONTROL WIRE COILED AND PLACED IN BOX AT WATERPROOF CONNECTION TO SOLENOID.

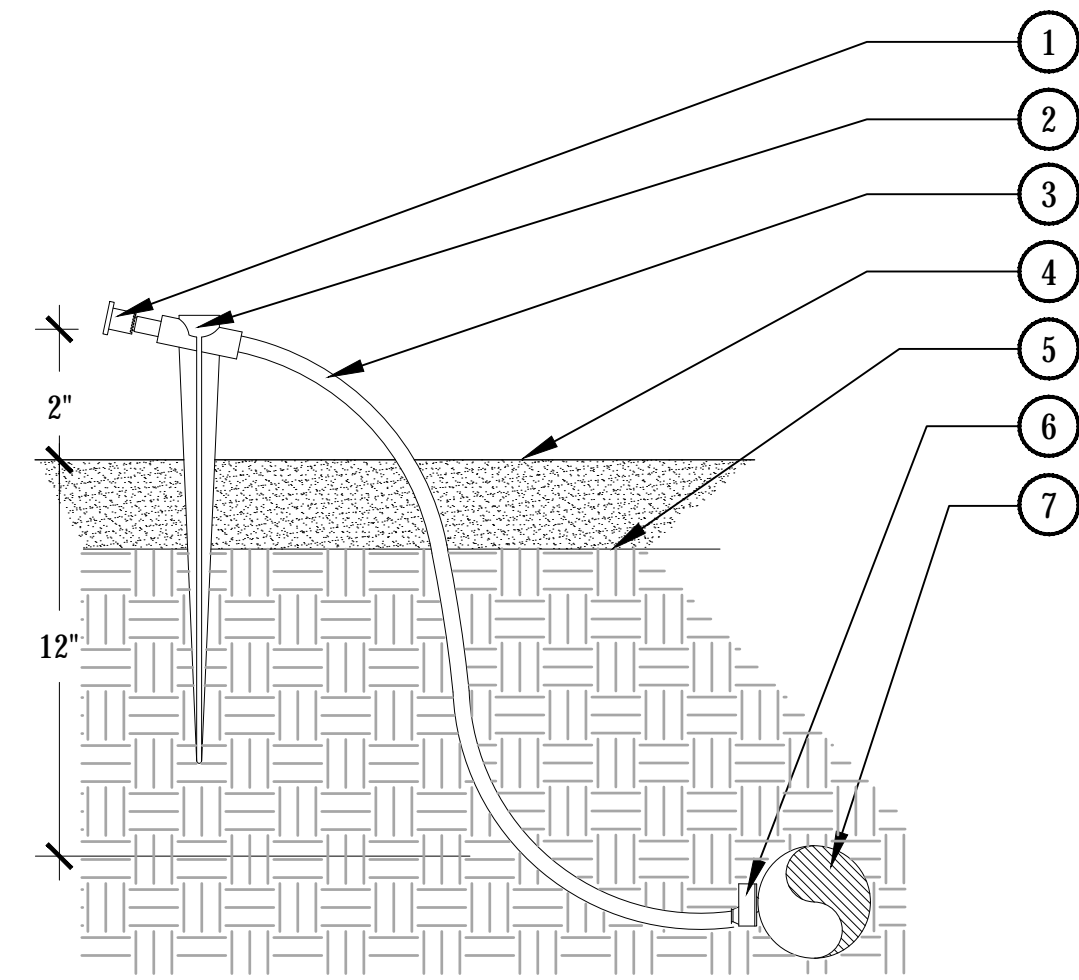
2 TURF VALVE ASSEMBLY SCALE: NTS



- 1 WATERPROOF CONNECTORS
- 2 30" COIL OF WIRE
- 3 PRESSURE REGULATING FILTER PER SCHEDULE
- 4 (2) SCH. 80 PVC UNION
- 5 3/4" PVC LATERAL
- 6 CONTROL AND COMMON WIRE TO NEXT VALVE(S)
- 8 BRICK SUPPORTS (4 MIN.)
- 9 4" DEPTH GRAVEL SUMP
- 10 VALVE BOX PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 11 FINISH GRADE
- 12 REMOTE CONTROL VALVE PER LEGEND
- 13 SCH 80 PVC BALL VALVE
- 14 CONTROL AND COMMON WIRES FROM CONTROLLER
- 15 SCH 80 TEE
- 16 PVC MAINLINE

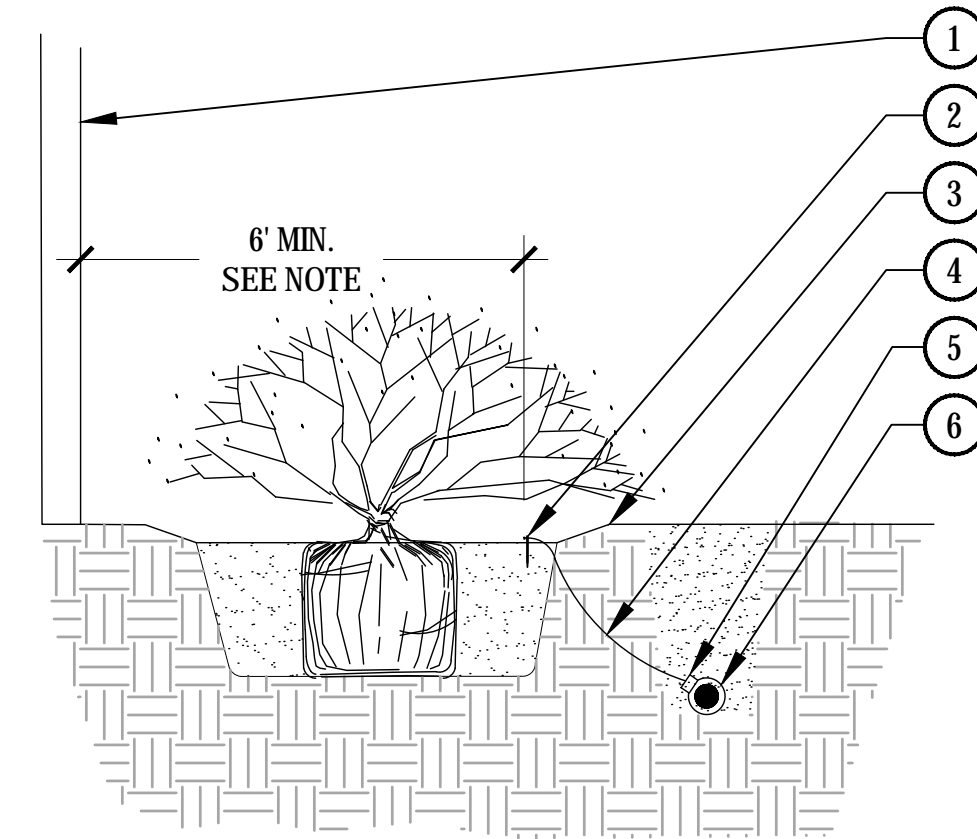
NOTE:
 1. BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH WATERPROOF SPLICING MATERIAL.
 2. 30" MIN. LENGTH OF CONTROL WIRE COILED AND PLACED IN BOX AT WATERPROOF CONNECTION TO SOLENOID.

3 DRIP VALVE ASSEMBLY SCALE: NTS



- 1 DBC-25 DIFFUSER CAP
- 2 UNIVERSAL 1/4" TUBING STAKE
- 3 1/4" DISTRIBUTION TUBING: LENGTH NOT TO EXCEED 8'
- 4 TOP OF MULCH
- 5 FINISH GRADE
- 6 PRESSURE COMPENSATING EMITTER PER EMITTER SCHEDULE. LOCATE ON TOP OR SIDE OF DRIP LATERAL
- 7 3/4" POLYETHYLENE TUBING DEPTH PER DETAIL.

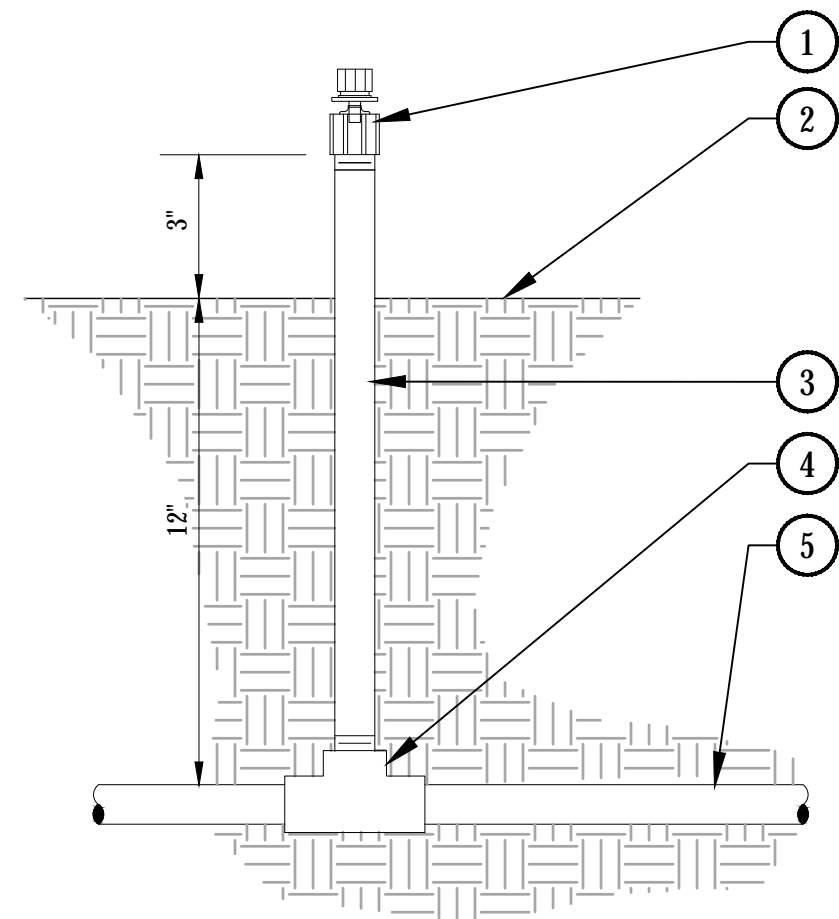
4 SINGLE OUTLET EMITTER SCALE: NTS



- 1 EXTERIOR OF BUILDING
- 2 EMISSION POINT. DIFFUSER CAP W/ DRIP STAKE (TYP.)
- 3 FINISH GRADE
- 4 1/4" DISTRIBUTION TUBING
- 5 EMITTER PER SCHEDULE
- 6 DRIP LATERAL - SEE NOTE FOR PLACEMENT OF PIPE AND EMITTERS RELATIVE TO BUILDING FOUNDATION.

NOTE:
 1. ALL IRRIGATION TO BE A MINIMUM OF 6' FROM BUILDING, OR AS DEFINED WITHIN THE GEOTECH REPORT, WHICHEVER IS GREATER.

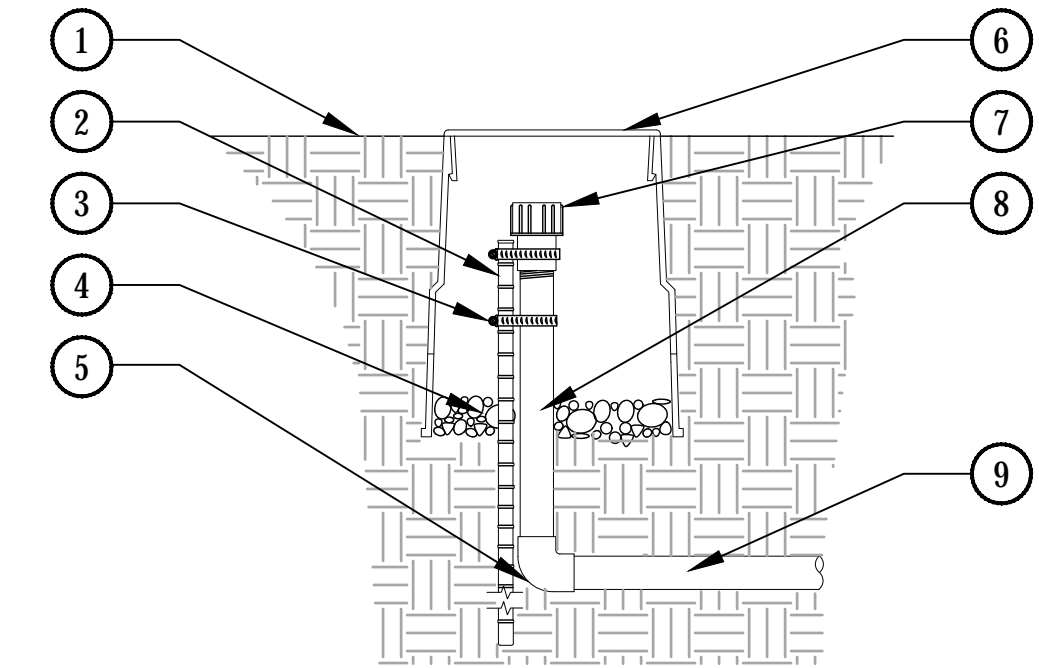
5 EMITTER PLACEMENT NEAR BUILDING SCALE: NTS



- 1 DRIP BUBBLER ON 1/2" FPT X 10-32 THREAD ADAPTER.
- 2 FINISH GRADE
- 3 SCH 80 THREADED NIPPLE. LENGTH AS REQUIRED
- 4 SCH 40 TEE
- 5 PVC LATERAL

NOTE:
 1. ADJUST SPACING AND FLOW RATE OF BUBBLERS PER THE DENSITY AND TYPE OF PLANT MATERIAL.
 2. BUBBLERS SHALL BE MIN. 6" FROM ANY WALLS, WALKS, COURTS, ETC.
 3. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE (3 WRAPS MAXIMUM).

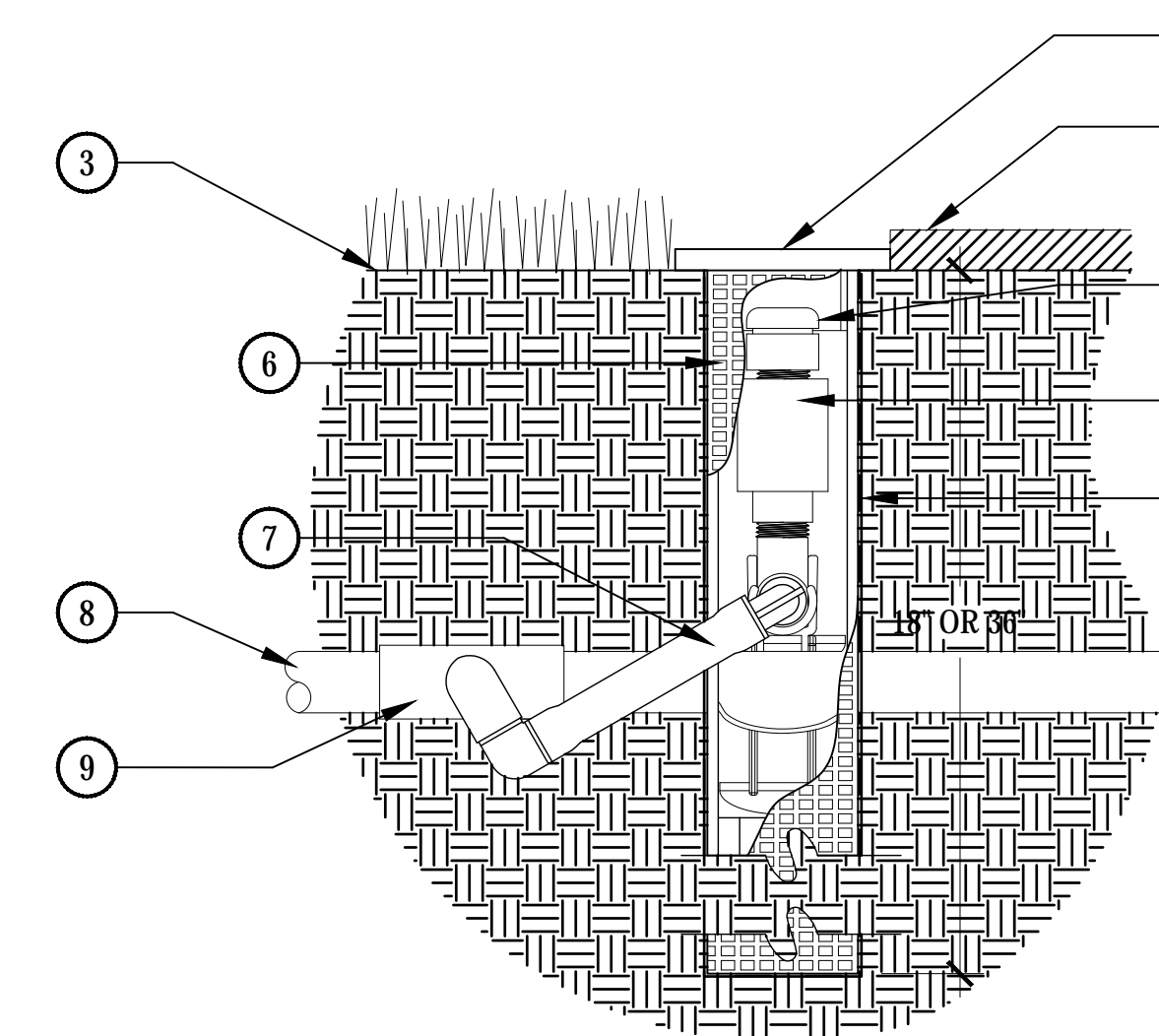
6 ADJUSTABLE SHRUB BUBBLER SCALE: NTS



- 1 FINISH GRADE
- 2 24" #4 REBAR
- 3 (2) STAINLESS STEEL CLAMPS
- 4 3/4" GRAVEL SUMP - 4" DEPTH
- 5 SCH 80 PVC ELL
- 6 LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 7 HOSE END FLUSH CAP
- 8 SCH 80 PVC TOE NIPPLE (LENGTH AS REQUIRED)
- 9 PVC LATERAL

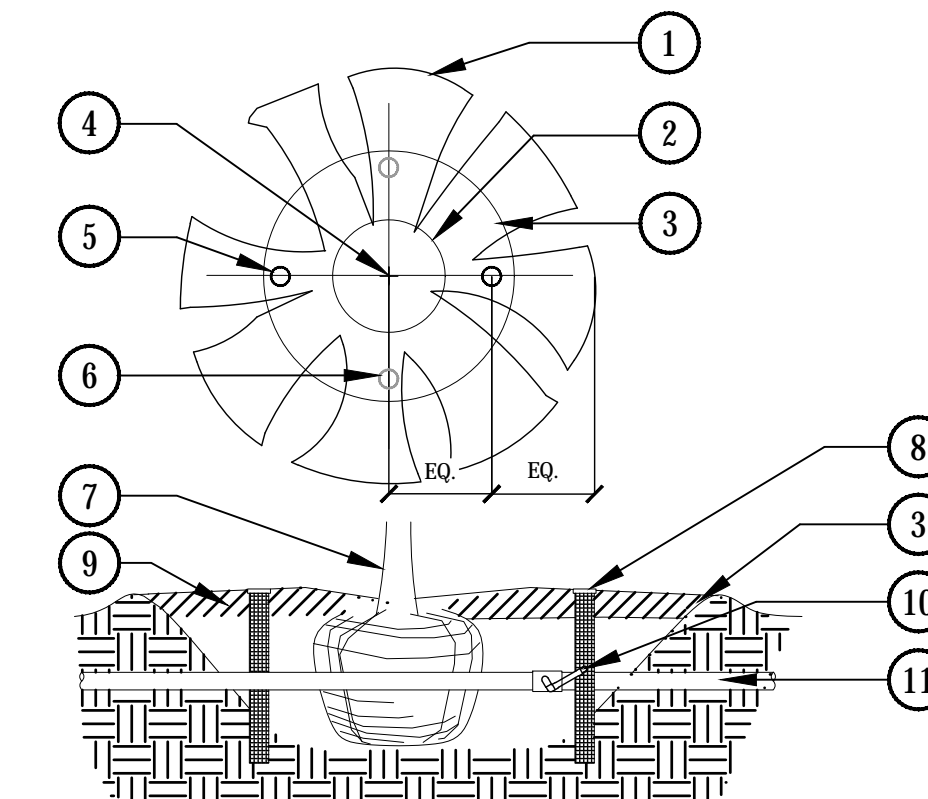
NOTE:
 1. DO NOT PLACE 10" LOCKING ROUND BOX ON LATERAL.
 2. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 3. SECURE STAKE TO FLUSH END CAP OR PVC NIPPLE WITH A MINIMUM OF 2 STAINLESS STEEL WORM DRIVE CLAMPS.
 4. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.

7 FLUSH END CAP SCALE: NTS



- 1 GRATED CAP
- 2 ROCK MULCH OR TURF
- 3 FINISH GRADE
- 4 BUBBLER PER SCHEDULE
- 5 CHECK VALVE
- 6 ROOT ZONE WATERING SYSTEM PER SCHEDULE
- 7 PRE-MANUFACTURED SWING JOINT PER MANUFACTURER SPECIFICATIONS
- 8 PVC LATERAL
- 9 SCHEDULE 40 PVC TEE
- 10 FILTER FABRIC SLEEVE

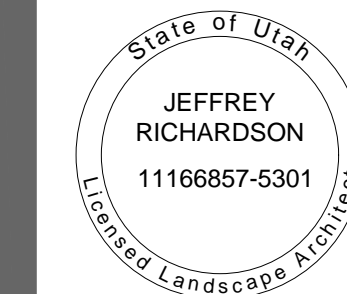
8 ROOT ZONE WATERING SYSTEM SCALE: NTS



- 1 TREE CANOPY (DRIPLINE)
- 2 PLANT ROOT BALL (TYP.)
- 3 PLANT PIT (TYP.)
- 4 PLANT CENTER (TYP.)
- 5 ROOT ZONE WATERING BUBBLER
- 6 ADDITIONAL ROOT ZONE WATERING POINTS
- 7 TREE TRUNK
- 8 ROOT ZONE WATERING SYSTEM
- 9 MULCH LAYER RE: LANDSCAPE
- 10 SWING JOINT W/ 1/2" FPT THREADED POLY ADAPTER
- 11 DRIP LATERAL PER SCHEDULE

NOTE:
 1. ALL EMISSION POINTS SHALL BE LOCATED ON UPHILL SIDE OF PLANT MATERIAL. ONE EMISSION POINT SHALL BE DIRECTLY TO PLANT BALL AS INDICATED. ADDITIONAL EMISSION POINTS SHALL BE WITHIN PLANT PIT PERIMETER AS DIRECTED IN THE EMITTER SCHEDULE.
 2. SECOND EMISSION POINTS (IF NEEDED) AS PER THE EMITTER SCHEDULE FOR TREES WITH 3" CALIPER OR GREATER OR CONIFEROUS TREES 10' OR GREATER IN HEIGHT.

9 TREE ROOT ZONE BUBBLER SCALE: NTS



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PROJECT: SLC - CINQ
SALT LAKE CITY, UT

OWNER:



DATE: 9.24.2020

PROJECT: COM-20.10

REVIEWED: JDR

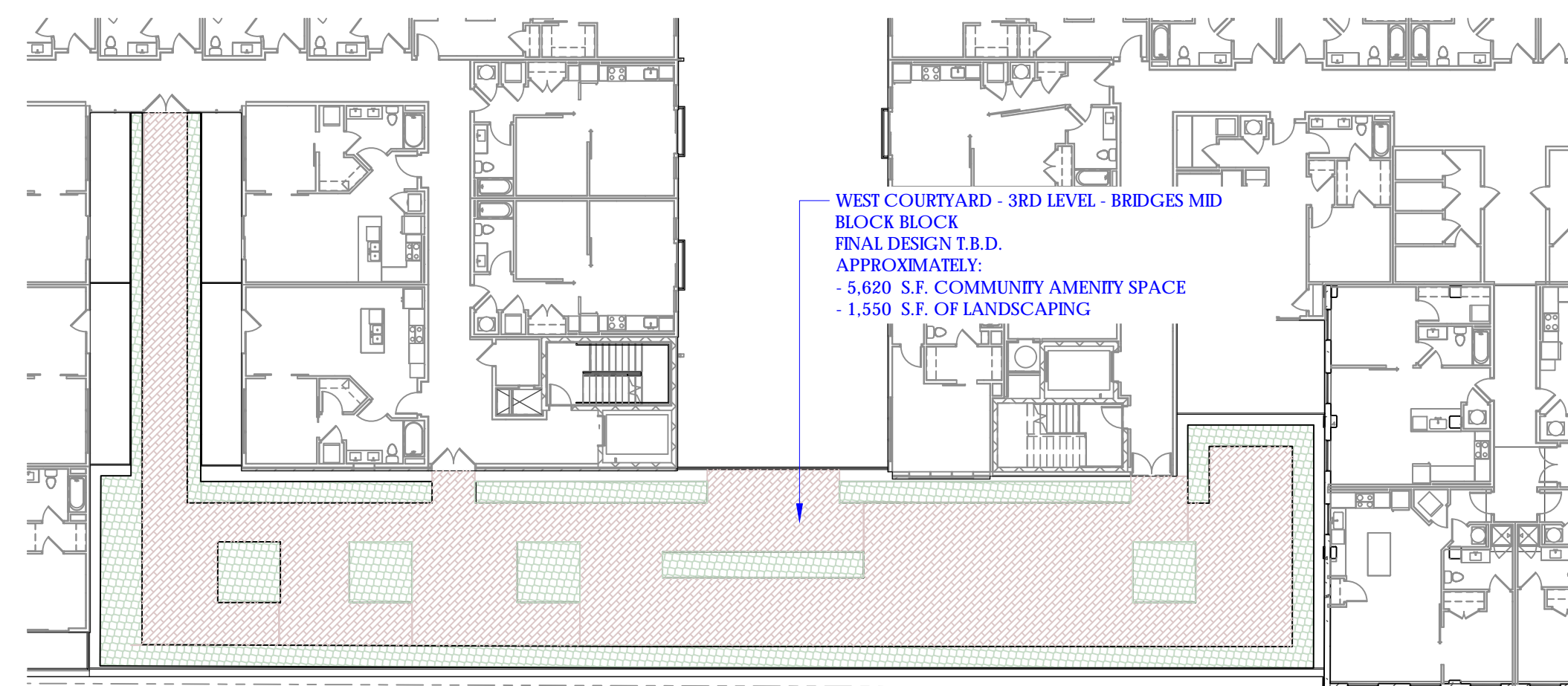
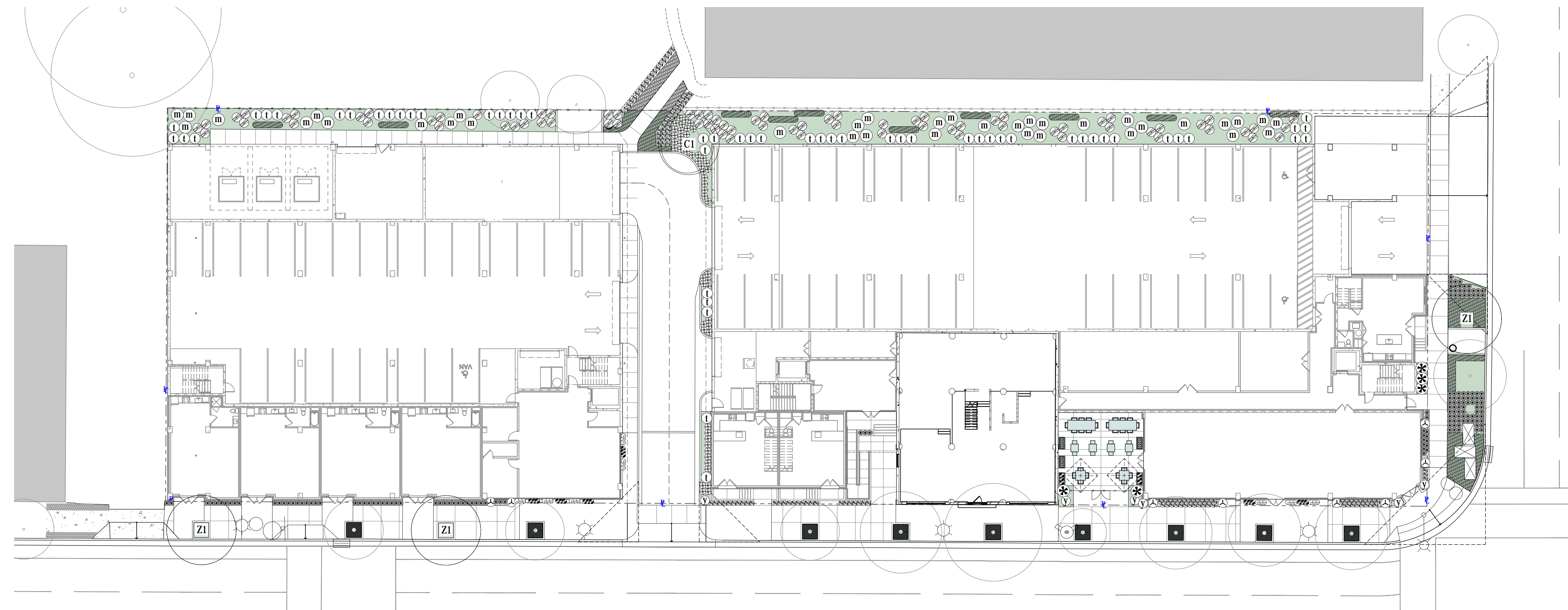
REVISIONS:

TITLE:

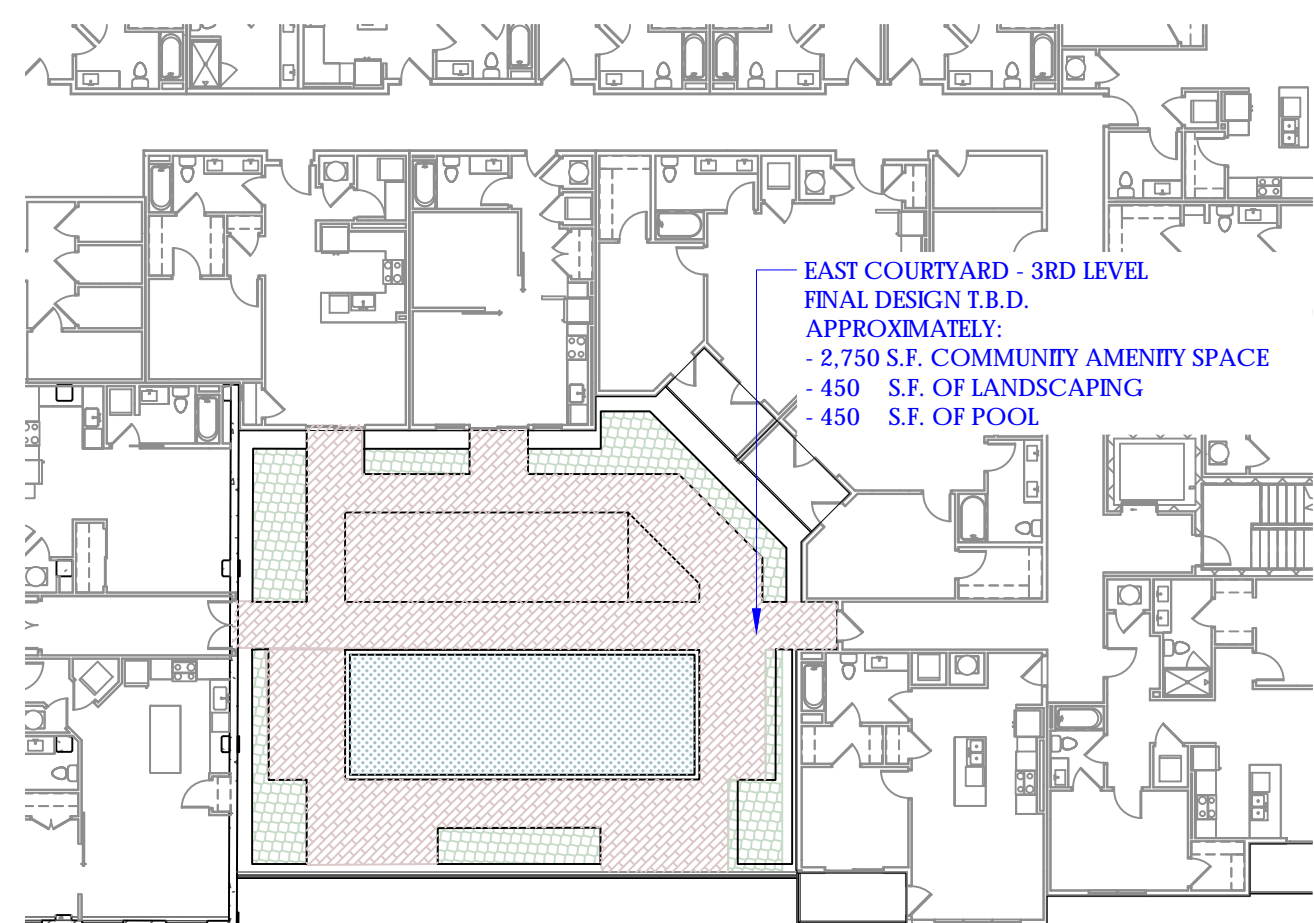
LANDSCAPE PLAN

SHEET:

L3-01



WEST COURTYARD



EAST COURTYARD

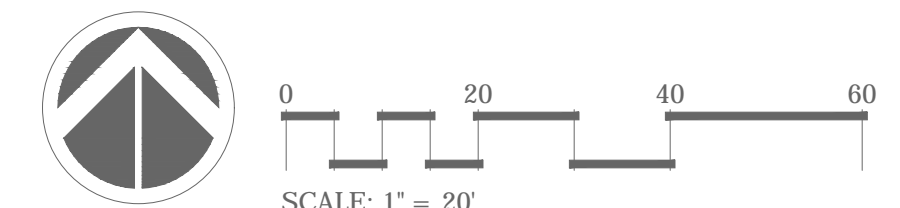
CITY OF SALT LAKE LANDSCAPE CALCULATIONS:

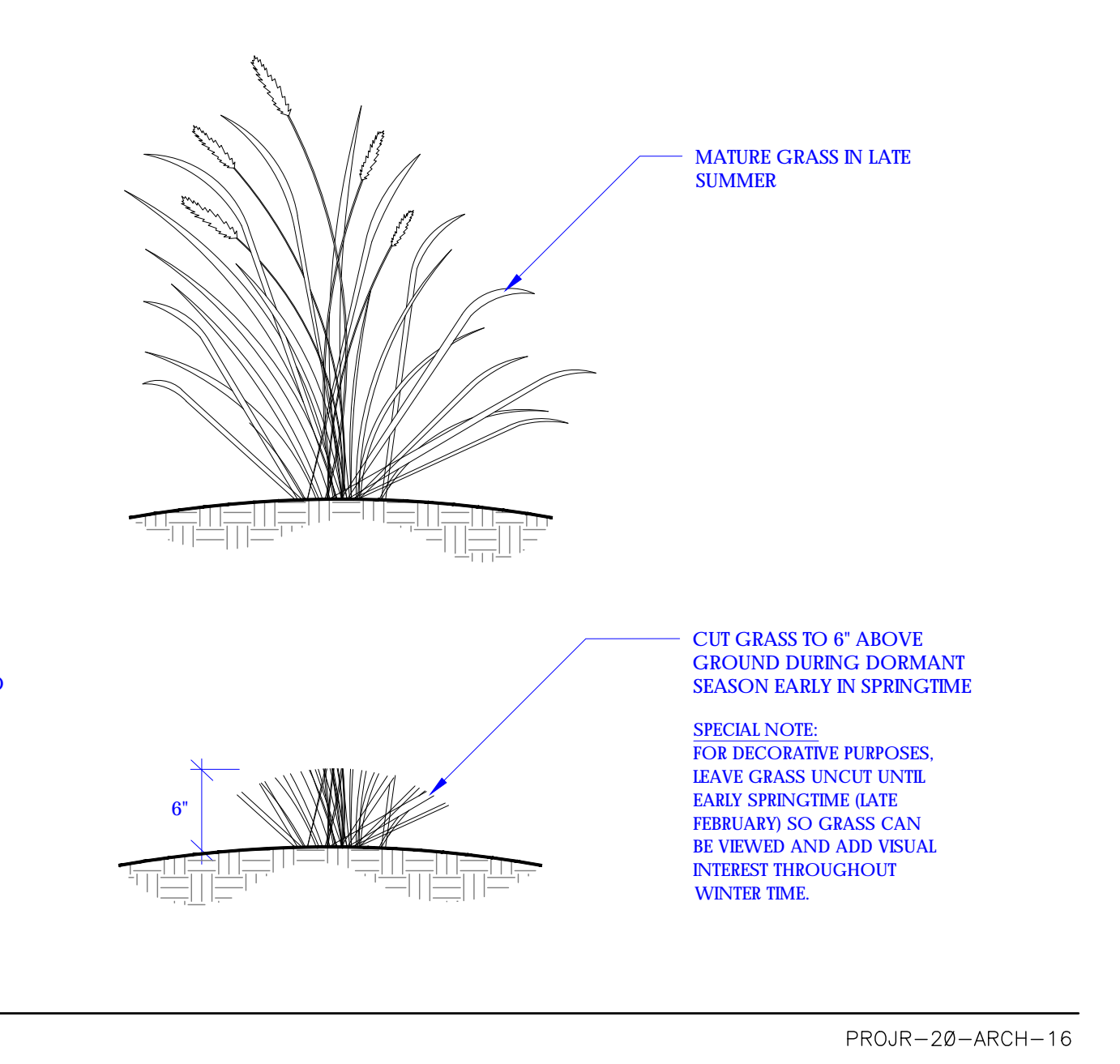
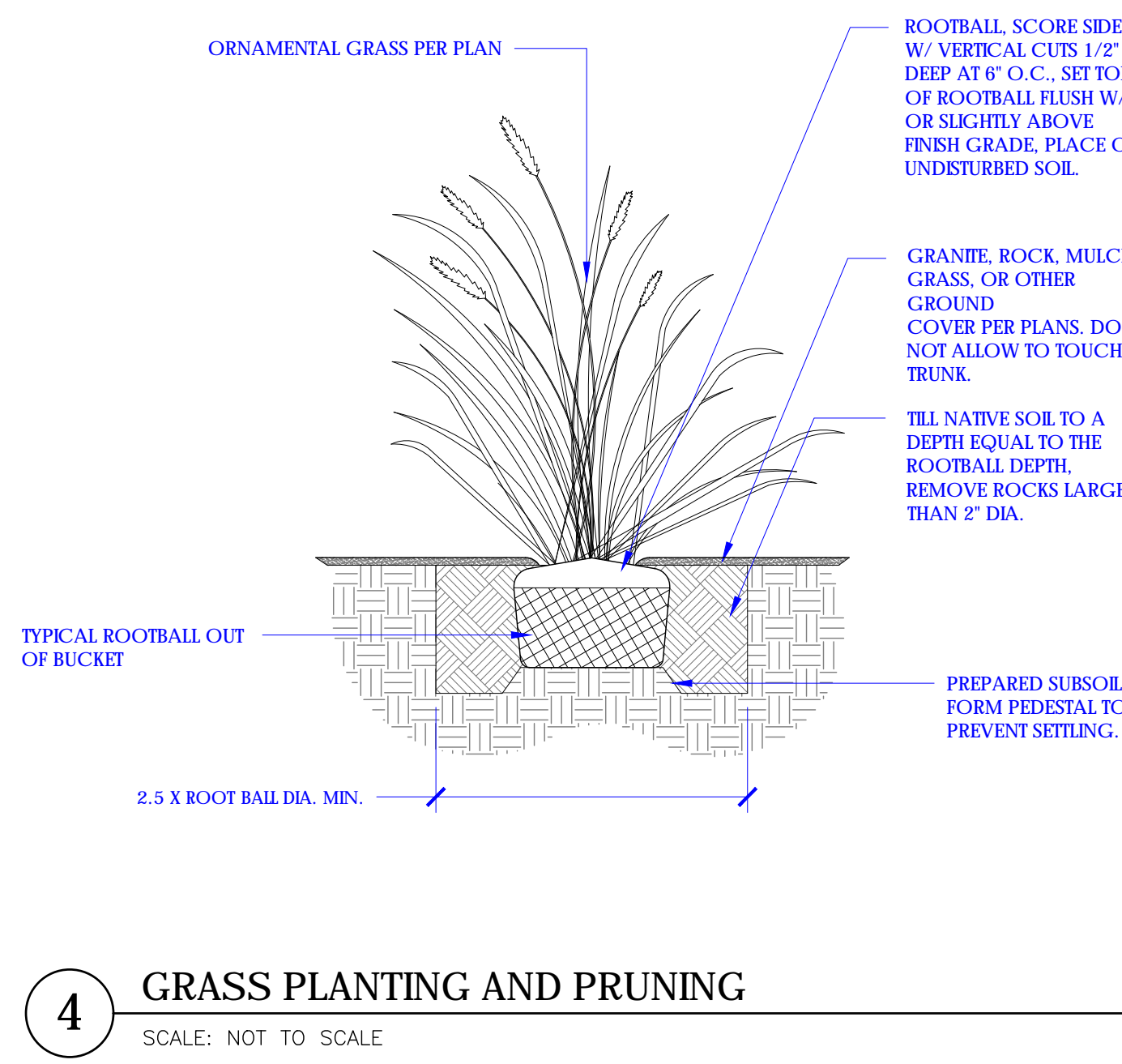
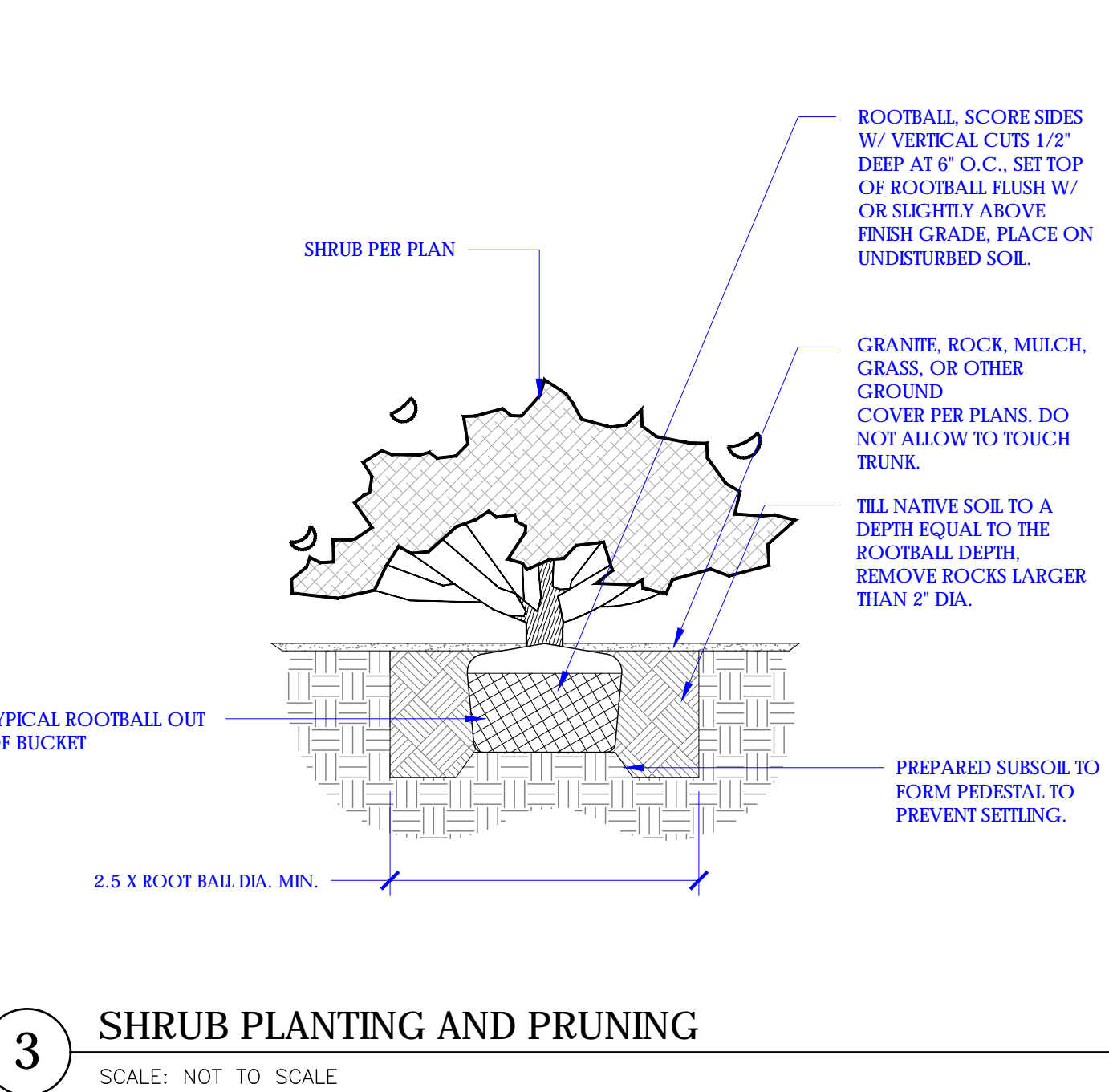
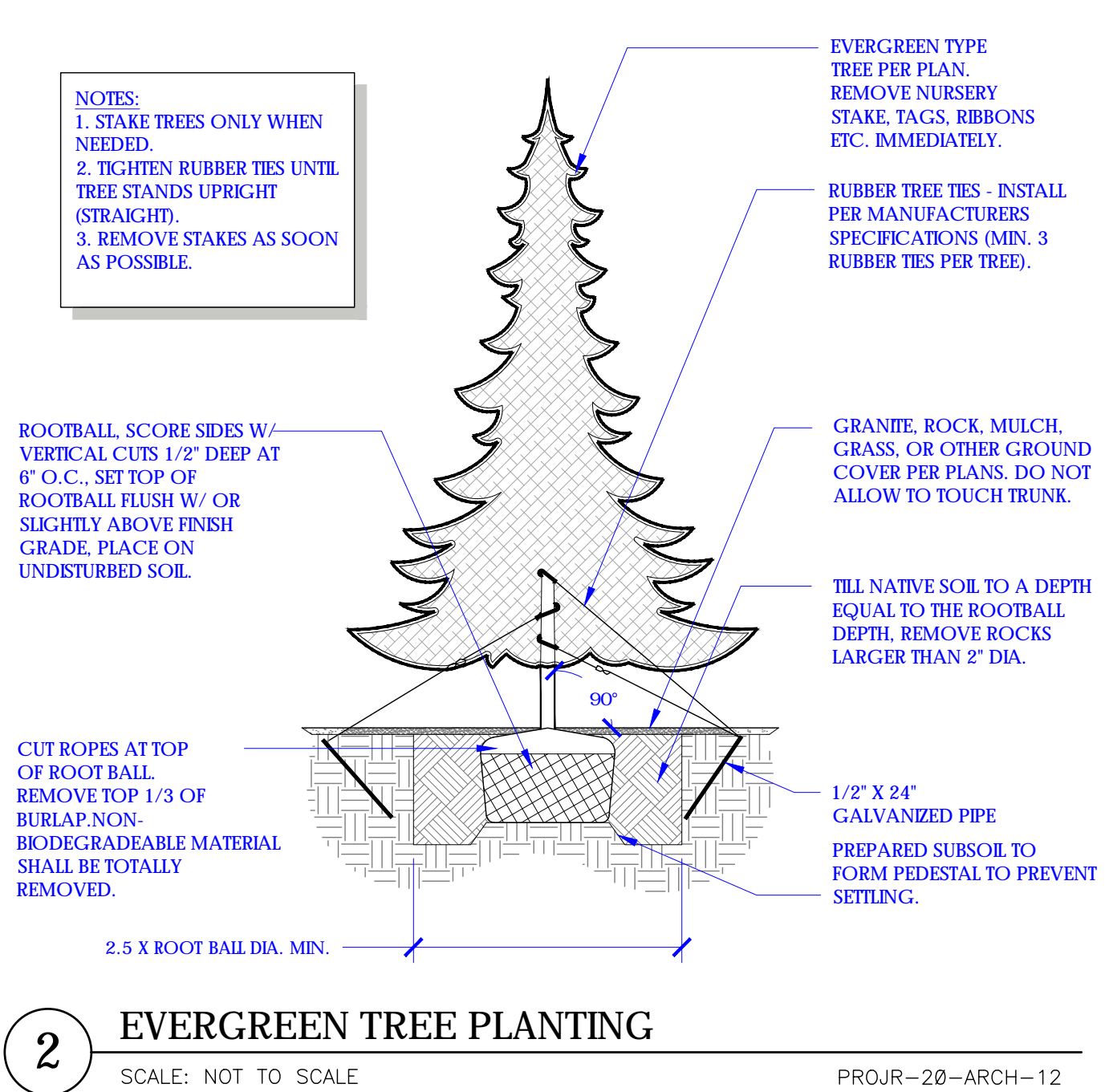
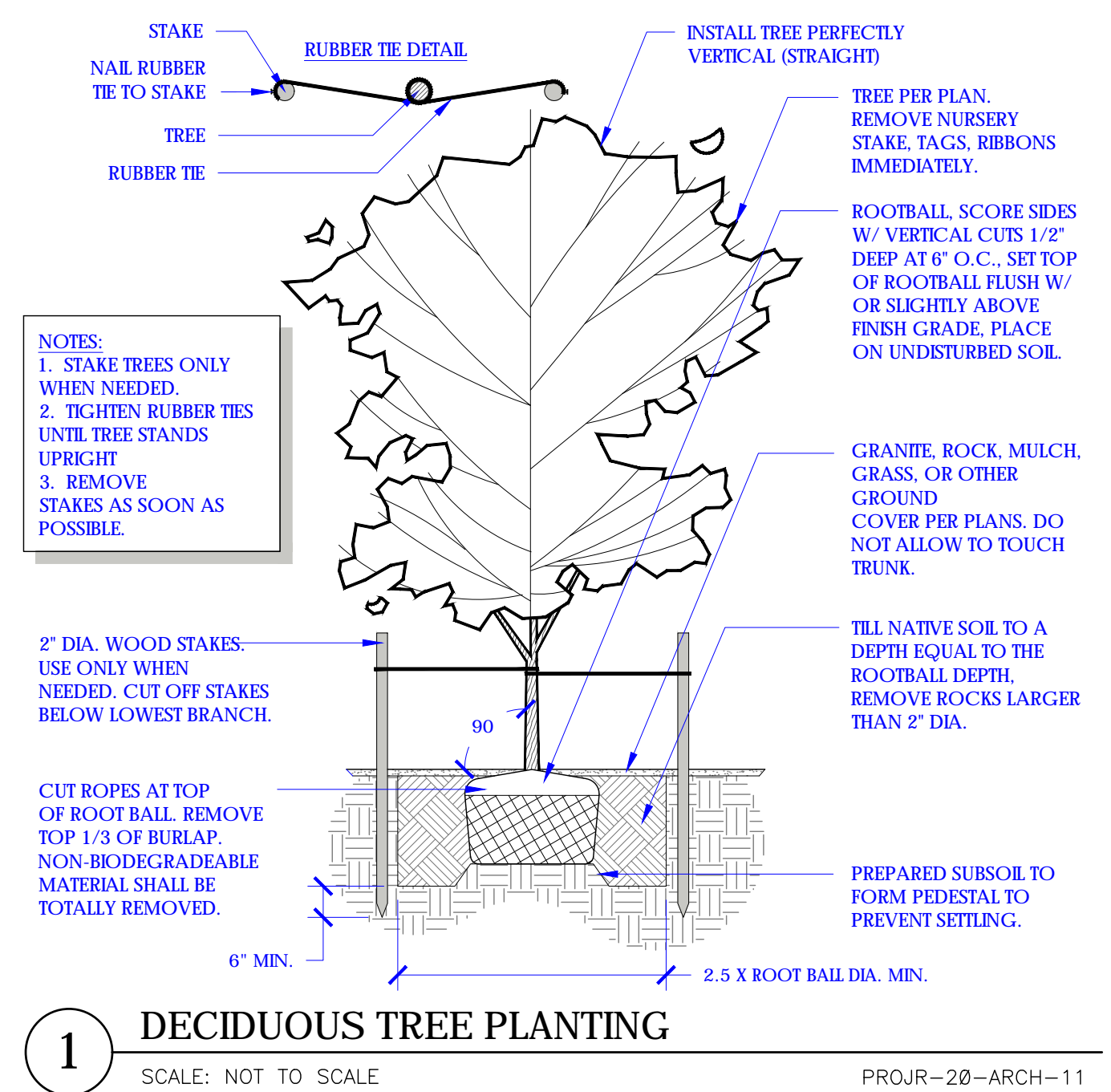
ZONE: GMU		WATER WISE PLANTS FOR SALT LAKE CITY
TOTAL SITE : 54,238 S.F.		DROUGHT TOLERANT SHRUBS
PROVIDED LANDSCAPING AREAS:		REQUIRED: 80%
STREET LEVEL: 5,370 S.F.		PROVIDED: 100%
PODIUM LEVEL: 2,000 S.F.		DROUGHT TOLERANT TREES
TOTAL TURF AREA: NA - 0% OF LANDSCAPE		REQUIRED: 80%
ROW LANDSCAPE AREAS: 820 S.F.		PROVIDED: 100%
TOTAL LANDSCAPE COVERAGE: 100% (LOW GROWING SHRUBS/GROUNDCOVERS)		
200 SOUTH - ALL ROW PLANTING IN TREE GRATES		

PLANTING MATERIALS - CINQ

TREES							
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HYDROZONE	SPACING	DROUGHT TOLERANT	NOTES
NA		EXISTING TREE PROTECTED IN PLACE					
C1	2" CAL.	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	TD2	AS SHOWN	Y	20'x25'
Z1	2" CAL.	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	TD4	AS SHOWN	Y	40'x25'
SHRUBS, GROUNDCOVERS, GRASSES							
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HYDROZONE	SPACING	DROUGHT TOLERANT	NOTES (ftxw)
g	3 GAL.	BOUTELOUA GRACILIS	BLUE GRAMA GRASS	TW0	24"	Y	2'x1'
FLATS		GALIUM ODORATUM	SWEET WOODRUFF	TW0	8"	Y	.5'x1.5'
o	1 GAL.	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	TD2	18"	Y	1'x2'
FLATS		DELOSPERMA NUBIGENUM 'YELLOW'	YELLOW ICE PLANT	P1	16"	Y	1'x1'
e	3 GAL.	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	TW1	16"	Y	1'x1'
y	5 GAL.	YUCCA FILAMENTOSA 'COLORGUARD'	COLOR GUARD YUCCA	SE0	48"	Y	4'x4'
g	5 GAL.	MISCANTHUS SINENSIS	MAIDENHAIR GRASS	TW2	48"	Y	4'x4'
i	5 GAL.	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	SE3	42"	Y	3'x5'
g	5 GAL.	RHUS AROMATICA 'AUTUMN AMBER'	AUTUMN SUMAC	GV1	42"	Y	1.5'x3'
m	5 GAL.	MAHONIA AQUILIFOLIUM COMPACTA	COMPACT ORANGE GRAPE	SE3	48"	Y	4'x4'
+	3 GAL.	PENNISETUM ALOPECUROIDES 'MOUNDRY'	BLACK FOUNTAIN GRASS	TW2	24"	Y	2'x2'
o	1 GAL.	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	MUNSTEAD LAVENDER	P2	18"	Y	1.5'x1.5'
⊙	3 GAL.	KNIPHORIA UVARIA	RED HOT POKER	P1	36"	Y	3'x3'

*ADDITIONAL PLANTING CHOSEN FOR ROOF DECK SHALL BE SELECTED FROM SLC WATER WISE PLANT LIST // LANDSCAPE BMP MANUAL





LDC COMMERCIAL

LANDSCAPE ARCHITECTURE // SITE DESIGN

511 W. 200 S. SUITE 125
SLC, UTAH 84101
OFFICE: 801.521.2370
WWW.LANDFORMDESIGNGROUP.COM

State of Utah
JEFFREY RICHARDSON
11166857-5301
Licensed Landscape Architect

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PROJECT: **SIC - CINQ**
SALT LAKE CITY, UT

OWNER: **URBAN COMMUNITIES**

DATE: 9.24.2020
PROJECT: COM-20.10
REVIEWED: JDR

REVISIONS:

TITLE:
LANDSCAPE PLANTING DETAILS

SHEET:
L3-02

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